



Record No:

1192674

Curb Cut

Status: Active

Submitted On: 12/9/2025

Primary Location

204 Garden St
Cambridge, MA 02138

Owner

Mahmood Firouzbakht
Crescent Street 7
CAMBRIDGE, MA 02138-
1258

Applicant

 Mahmood Firouzbakht
 617-671-5534
 @ mahmood.brp@gmail.com
 7 Crescent Street
Cambridge, MA 02138

General Information

Frontage (in feet)*

25.49

Setback - distance from building to sidewalk (in feet)*

15

**Distance from proposed driveway to surrounding
structures and property line (in feet)***

5

Length of proposed driveway (in feet) *

28

Width of proposed driveway (in feet) *

10

Size of proposed driveway (square feet)

280



Location of any trees, sign posts, fire hydrants, utility poles, etc., in direct vicinity of proposed driveway

na

Attestation

**204-206 Garden Site Plan.Curb Cut Setbacks.pdf**

204-206 Garden Site Plan.Curb Cut Setbacks.pdf

Uploaded by Zachery Rosenthal on Dec 12, 2025 at 12:34 PM

**City Manager.St.Peters Field Abutter Approval.pdf**

City Manager.St.Peters Field Abutter Approval.pdf

Uploaded by Zachery Rosenthal on Dec 15, 2025 at 2:15 PM

**25.12.17_25078_204-206 Garden St_REV2 A-20.pdf**

25.12.17_25078_204-206 Garden St_REV2 A-20.pdf

Uploaded by Zachery Rosenthal on Dec 17, 2025 at 4:11 PM

**204 Garden Street Neighborhood Association unsigned.pdf**

204 Garden Street Neighborhood Association unsigned.pdf

Uploaded by Lori Perez on Dec 29, 2025 at 10:40 AM

**IMG_6612.HEIC**

IMG_6612.HEIC

Uploaded by Mahmood Firouzbakht on Dec 30, 2025 at 1:44 PM

**IMG_6611.HEIC**

IMG_6611.HEIC

Uploaded by Mahmood Firouzbakht on Dec 30, 2025 at 1:44 PM

**IMG_6611.HEIC**

IMG_6611.HEIC

Uploaded by Mahmood Firouzbakht on Dec 30, 2025 at 1:44 PM

**IMG_6610.HEIC**

IMG_6610.HEIC

Uploaded by Mahmood Firouzbakht on Dec 30, 2025 at 1:44 PM

**Driveway curbcut.jpeg.png**

Driveway curbcut.jpeg.png

Uploaded by Mahmood Firouzbakht on Dec 31, 2025 at 5:45 AM

**IMG_6706.HEIC**

IMG_6706.HEIC

Uploaded by Mahmood Firouzbakht on Jan 5, 2026 at 8:07 AM

**IMG_6707.HEIC**

IMG_6707.HEIC

Uploaded by Mahmood Firouzbakht on Jan 5, 2026 at 8:07 AM

**IMG_6707.HEIC**

IMG_6707.HEIC

Uploaded by Mahmood Firouzbakht on Jan 5, 2026 at 8:07 AM

Mahmood Firouzbakht added a guest: zacheryrosenthal@gmail.com to Record 1192674	12/11/2025 at 11:08 am
Zachery Rosenthal added file 204-206 Garden Site Plan.Curb Cut Setbacks.pdf to Record 1192674	12/12/2025 at 12:34 pm
Zachery Rosenthal added file City Manager.St.Peters Field Abutter Approval.pdf to Record 1192674	12/15/2025 at 2:15 pm
Olivia Ratay altered approval step Review for Completeness, changed status from On Hold to Complete on Record 1192674	12/15/2025 at 3:06 pm
Zachery Rosenthal added file 25.12.17_25078_204-206 Garden St_REV2 A-20.pdf to Record 1192674	12/17/2025 at 4:11 pm
Stephen Natola approved approval step Zoning Review on Record 1192674	12/22/2025 at 9:56 am
OpenGov system altered approval step City Clerk Review, changed status from Inactive to Active on Record 1192674	12/22/2025 at 9:56 am
OpenGov system assigned approval step City Clerk Review to Lori Perez on Record 1192674	12/22/2025 at 9:56 am
Lori Perez added file 204 Garden Street Neighborhood Association unsigned.pdf to Record 1192674	12/29/2025 at 10:40 am
Lori Perez approved approval step City Clerk Review on Record 1192674	12/29/2025 at 10:41 am
OpenGov system altered approval step Traffic & Parking Department Review, changed status from Inactive to Active on Record 1192674	12/29/2025 at 10:41 am
OpenGov system assigned approval step Traffic & Parking Department Review to Stephen Meuse on Record 1192674	12/29/2025 at 10:41 am
Stephen Meuse approved approval step Traffic & Parking Department Review on Record 1192674	12/29/2025 at 11:24 am
OpenGov system altered approval step Department of Public Works Review, changed status from Inactive to Active on Record 1192674	12/29/2025 at 11:24 am
OpenGov system assigned approval step Department of Public Works Review to TJ Shea on Record 1192674	12/29/2025 at 11:24 am
Mahmood Firouzbakht added file IMG_6612.HEIC to Record 1192674	12/30/2025 at 1:44 pm
Mahmood Firouzbakht added file IMG_6611.HEIC to Record 1192674	12/30/2025 at 1:44 pm
Mahmood Firouzbakht added file IMG_6610.HEIC to Record 1192674	12/30/2025 at 1:44 pm

Label	Activated	Completed	Assignee	Due Date	Status
✓ City Clerk Review for City Council Agenda	1/6/2026, 10:05:37 AM	-	Lori Perez	-	Active
✓ City Council Approval	-	-	-	-	Inactive
✓ Department of Public Works - Next Steps	-	-	-	-	Inactive

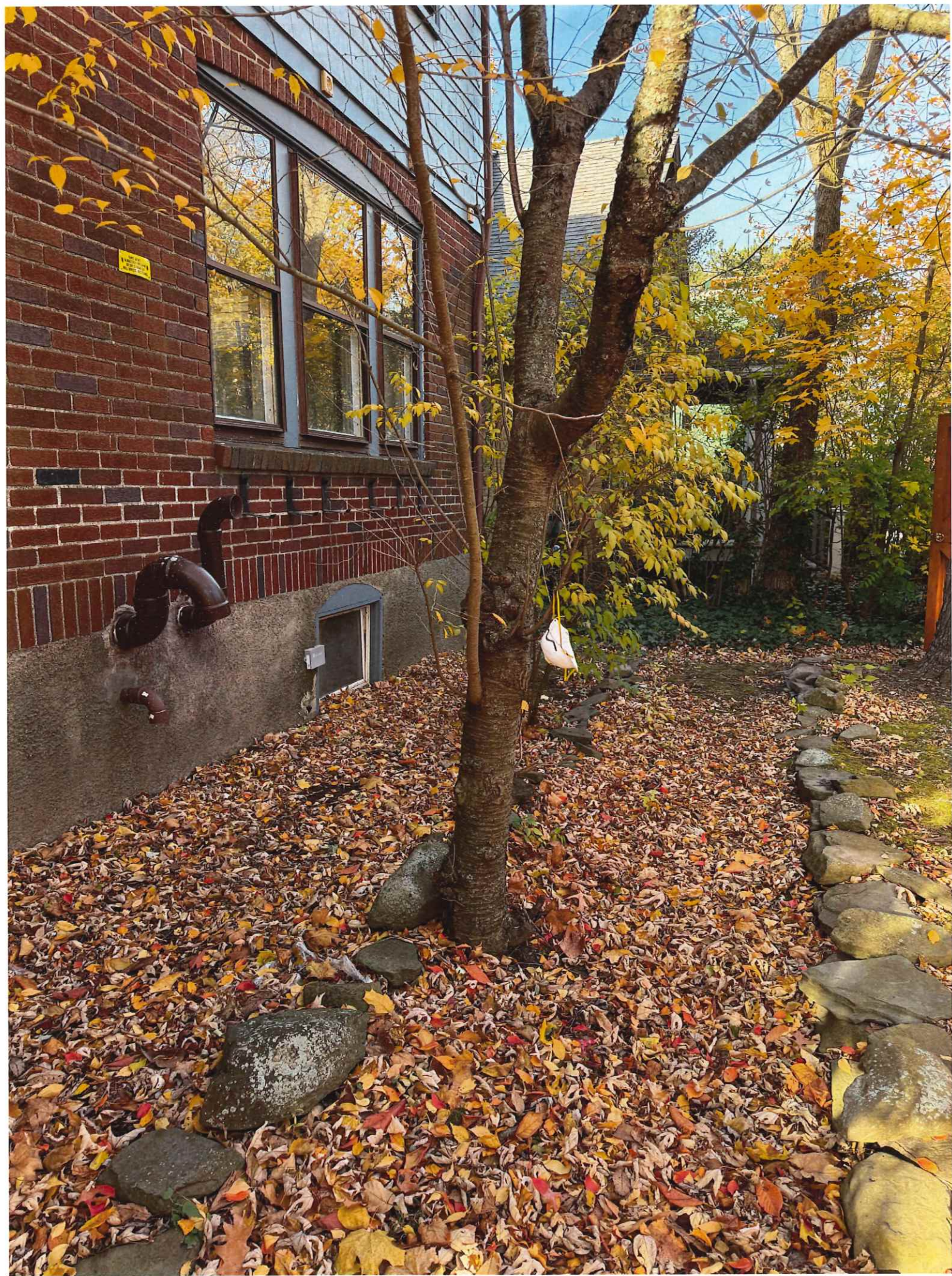


FOOTNOTES:

(2) The height of buildings or portions of buildings used as Residences may exceed the base height limit, up to a maximum of 6 stories above grade and 74 feet above grade, if all of the following criteria are met:(a) The building complies with the Inclusionary Housing Requirements in Section 11.203 of this Zoning Ordinance, regardless of whether it exceeds the size threshold requiring compliance; and(b) The area of the lot on which the building is located is not less than 5,000 square feet.

(37) In a Residence C-1 district, an applicant for a building permit for a building that exceeds three stories above grade and 35 feet above grade, if it does not require a Planning Board Advisory Commission review, must submit a written request for a Planning Board Advisory Commission review from the Planning Board. Such a request shall include a meeting to show plans or renderings of the proposed building, answer questions and gather feedback from residents, (1) prepare a notification letter including, at a minimum, a general description of the project, the date, time, location, and other information necessary for people to attend the meeting, and contact information (telephone and e-mail, at a minimum for the webmaster) for the project, (2) provide a written notification of the meeting to the Planning Board, and (3) provide an oral or printed street or way, and submit to the building within three hundred feet of the property line of the lot as they appear on the most recent applicable tax lot, to the Community Development Department electronically for posting on the City of Cambridge website, and to others whom the applicant may choose to contact (by Cambridge e-mail and to a minimum of 20 days, beginning at least 10 days before the date of the meeting, a notification sign on the site of the building), the location and number and graphic and construction standards in Section 10.42.1, Paragraphs (a) of the Zoning Ordinance, any (b) include with the building permit application a copy of the notification and mailing list, a photograph and site plan showing the location of the notification sign, a summary of the meeting, who attended, and what questions and feedback were

At least fifty percent (50%) of the required Open Space in a Residence C-1 district shall meet all of the requirements of Private Open Space in Section 5.22.1. At least fifty percent (50%) of the required Open Space shall meet the definition of Permissible Open Space and shall not be subject to the dimensional limitations of Section 5.22.1 as applied to Private Open Space.⁶





204-206 GARDEN STREET
CAMBRIDGE
MASSACHUSETTS

SURVEY PLAN

REVISION BLOCK

[illegible]

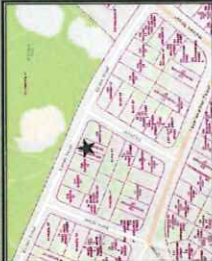
All legal rights including, but not limited to, copyright and design patent rights, in the designs, arrangements and plans shown on this document are the property of Spohn Engineering, Inc. This material is being furnished in whole or in part, except in connection with this project, without the prior written consent of Spohn Engineering, P.C. Written precedents over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on this project under Spohn Engineering, Inc. The details of a complete set of drawings and conditions shown by these drawings.

THE ARCADE

DATE:	10/13/2025
DRAWN BY:	K.K
CHECKED BY:	C.C
APPROVED BY:	C.C

**EXISTING
CONDITIONS**

SHEET 1 OF 1



**LOCUS MAP
(NOT TO SCALE)**

FLOOD SCENARIOS #206

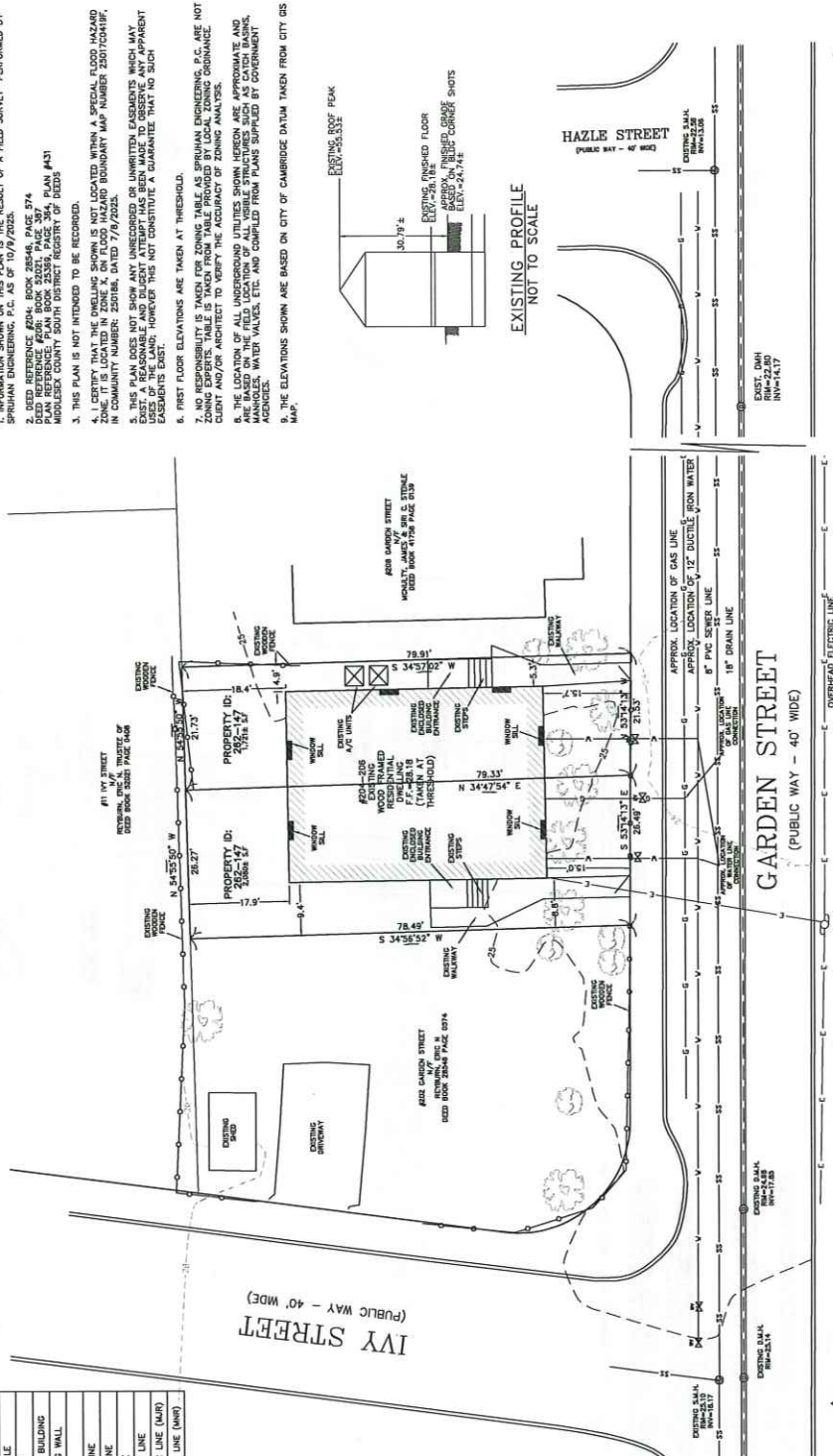
Ground Elevation	Min: 24.2 ft								
2070	1% - Precip	N/A							
2075	1% - Precip	N/A							
2080	1% - Precip	N/A							
2085	1% - Precip	N/A							
2090	1% - Precip	N/A							
2095	1% - Precip	N/A							
2100	1% - Precip	N/A							
2105	1% - Precip	N/A							
2110	1% - Precip	N/A							
2115	1% - Precip	N/A							
2120	1% - Precip	N/A							
2125	1% - Precip	N/A							
2130	1% - Precip	N/A							
2135	1% - Precip	N/A							
2140	1% - Precip	N/A							
2145	1% - Precip	N/A							
2150	1% - Precip	N/A							
2155	1% - Precip	N/A							
2160	1% - Precip	N/A							
2165	1% - Precip	N/A							
2170	1% - Precip	N/A							
2175	1% - Precip	N/A							
2180	1% - Precip	N/A							
2185	1% - Precip	N/A							
2190	1% - Precip	N/A							
2195	1% - Precip	N/A							
2200	1% - Precip	N/A							
2205	1% - Precip	N/A							
2210	1% - Precip	N/A							
2215	1% - Precip	N/A							
2220	1% - Precip	N/A							
2225	1% - Precip	N/A							
2230	1% - Precip	N/A							
2235	1% - Precip	N/A							
2240	1% - Precip	N/A							
2245	1% - Precip	N/A							
2250	1% - Precip	N/A							
2255	1% - Precip	N/A							
2260	1% - Precip	N/A							
2265	1% - Precip	N/A							
2270	1% - Precip	N/A							
2275	1% - Precip	N/A							
2280	1% - Precip	N/A							
2285	1% - Precip	N/A							
2290	1% - Precip	N/A							
2295	1% - Precip	N/A							
2300	1% - Precip	N/A							
2305	1% - Precip	N/A							
2310	1% - Precip	N/A							
2315	1% - Precip	N/A							
2320	1% - Precip	N/A							
2325	1% - Precip	N/A							
2330	1% - Precip	N/A							
2335	1% - Precip	N/A							
2340	1% - Precip	N/A							
2345	1% - Precip	N/A							
2350	1% - Precip	N/A							
2355	1% - Precip	N/A							

FLOOD SCENARIOS 1204

Ground Elevation	24.3 ft
Design Max. Elevation	25.5 ft
2070	1% - SLR/SS - N/A
2075	1% - Precip. - 23.6
2080	1% - Precip. - N/A
2085	1% - SLR/SS - N/A
2090	1% - Precip. - N/A
2095	1% - Precip. - 23.7
2100	1% - Precip. - N/A
2105	1% - Precip. - 23.6
2110	1% - Precip. - N/A
2115	1% - Precip. - N/A
2120	1% - Precip. - N/A
2125	1% - Precip. - N/A
2130	1% - Precip. - N/A
2135	1% - Precip. - N/A
2140	1% - Precip. - N/A
2145	1% - Precip. - N/A
2150	1% - Precip. - N/A
2155	1% - Precip. - N/A
2160	1% - Precip. - N/A
2165	1% - Precip. - N/A
2170	1% - Precip. - N/A
2175	1% - Precip. - N/A
2180	1% - Precip. - N/A
2185	1% - Precip. - N/A
2190	1% - Precip. - N/A
2195	1% - Precip. - N/A
2200	1% - Precip. - N/A
2205	1% - Precip. - N/A
2210	1% - Precip. - N/A
2215	1% - Precip. - N/A
2220	1% - Precip. - N/A
2225	1% - Precip. - N/A
2230	1% - Precip. - N/A
2235	1% - Precip. - N/A
2240	1% - Precip. - N/A
2245	1% - Precip. - N/A
2250	1% - Precip. - N/A
2255	1% - Precip. - N/A
2260	1% - Precip. - N/A
2265	1% - Precip. - N/A
2270	1% - Precip. - N/A
2275	1% - Precip. - N/A
2280	1% - Precip. - N/A
2285	1% - Precip. - N/A
2290	1% - Precip. - N/A
2295	1% - Precip. - N/A
2300	1% - Precip. - N/A
2305	1% - Precip. - N/A
2310	1% - Precip. - N/A
2315	1% - Precip. - N/A
2320	1% - Precip. - N/A
2325	1% - Precip. - N/A
2330	1% - Precip. - N/A
2335	1% - Precip. - N/A
2340	1% - Precip. - N/A
2345	1% - Precip. - N/A
2350	1% - Precip. - N/A
2355	1% - Precip. - N/A
2360	1% - Precip. - N/A
2365	1% - Precip. - N/A
2370	1% - Precip. - N/A
2375	1% - Precip. - N/A
2380	1% - Precip. - N/A
2385	1% - Precip. - N/A
2390	1% - Precip. - N/A
2395	1% - Precip. - N/A
2400	1% - Precip. - N/A
2405	1% - Precip. - N/A
2410	1% - Precip. - N/A
2415	1% - Precip. - N/A
2420	1% - Precip. - N/A
2425	1% - Precip. - N/A
2430	1% - Precip. - N/A
2435	1% - Precip. - N/A
2440	1% - Precip. - N/A
2445	1% - Precip. - N/A
2450	1% - Precip. - N/A
2455	1% - Precip. - N/A
2460	1% - Precip. - N/A
2465	1% - Precip. - N/A
2470	1% - Precip. - N/A
2475	1% - Precip. - N/A
2480	1% - Precip. - N/A
2485	1% - Precip. - N/A
2490	1% - Precip. - N/A
2495	1% - Precip. - N/A
2500	1% - Precip. - N/A
2505	1% - Precip. - N/A
2510	1% - Precip. - N/A
2515	1% - Precip. - N/A
2520	1% - Precip. - N/A
2525	1% - Precip. - N/A
2530	1% - Precip. - N/A
2535	1% - Precip. - N/A
2540	1% - Precip. - N/A
2545	1% - Precip. - N/A
2550	1% - Precip. - N/A
2555	1% - Precip. - N/A
2560	1% - Precip. - N/A
2565	1% - Precip. - N/A
2570	1% - Precip. - N/A
2575	1% - Precip. - N/A
2580	1% - Precip. - N/A
2585	1% - Precip. - N/A
2590	1% - Precip. - N/A
2595	1% - Precip. - N/A
2600	1% - Precip. - N/A
2605	1% - Precip. - N/A
2610	1% - Precip. - N/A
2615	1% - Precip. - N/A
2620	1% - Precip. - N/A
2625	1% - Precip. - N/A
2630	1% - Precip. - N/A
2635	1% - Precip. - N/A
2640	1% - Precip. - N/A
2645	1% - Precip. - N/A
2650	1% - Precip. - N/A
2655	1% - Precip. - N/A
2660	1% - Precip. - N/A
2665	1% - Precip. - N/A
2670	1% - Precip. - N/A
2675	1% - Precip. - N/A
2680	1% - Precip. - N/A
2685	1% - Precip. - N/A
2690	1% - Precip. - N/A
2695	1% - Precip. - N

NOTES

1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY SPRUHAN ENGINEERING, P.C. AS OF 10/7/2025.
2. SEE REFERENCE PLAN BOOK 28948, PAGE 374.
3. SEE REFERENCE PLAN BOOK 52021, PAGE 387.
4. SEE REFERENCE PLAN BOOK 52021, PAGE 387.
5. UNDEVELOPED LOT 10, CITY OF CAMBRIDGE, DISTRICT RECORD OF 19205
6. THIS PLAN IS NOT INTENDED TO BE RECORDED.
7. A PROPERTY THAT THE SHELING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD MAP NUMBER 202407419F.
8. THIS PLAN NUMBER: 201819, DATE OF 7/2022.
9. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY BE AFFECTED BY THE LANS. WITHOUT THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
10. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
11. NO RESPONSIBILITY IS TAKEN FOR ZONING TALK AS SPRUHAN ENGINEERING, P.C. ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE AND/OR APPLICABLE TO VERIFY THE ADEQUACY OF ZONING ANALYSIS.
12. THE LOCATION OF THE UNRECORDED UNWRITTEN EASEMENTS, EASEMENTS, AND EASEMENTS ARE NOT SHOWN. UNRECORDED UNWRITTEN EASEMENTS SUCH AS CATCH BASINS, MANHOLES, WATER VALVES, ETC. AND COMPLIED FROM PLANS SUPPLIED BY GOVERNMENT AGENCIES.
13. THE ELEVATIONS SHOWN ARE BASED ON CITY OF CAMBRIDGE DATUM TAKEN FROM CITY OF



LEGEND

□	ROUND	PIPE/PIPE
○	TEE	
⊕	SHOUB	
⊗	PINE TREE	
△	TREE STUMP	
八	SON	
⊙	SEWER MANHOLE	
⊗	DRAIN MANHOLE	
⊕	CATCH BASIN	
⊗	WATER VALVE	
⊕	HYDRANT	
⊗	Gas VALVE	
⊕	ELECTRIC MANHOLE	
⊗	UTILITY POLE	
⊕	LIGHT POLE	
⊗	MANHOLE	
⊕	EXISTING BUILDING	
⊗	RETAINING WALL	
○	FENCE	
⊕	SEWER LINE	
⊗	WATER LINE	
⊕	Gas LINE	
⊗	ELECTRIC LINE	
⊕	CONDUIT LINE (WV)	
⊗	CONDUIT LINE (WV)	



Home Energy Rating Certificate

Rating Date: 10/25/2024
 Example ID: 1045294

HERS Index Score:
45

Annual Savings:
\$6,195

Year Home's Estimated Energy Use:

Heating: 1110
 Cooling: 1110
 Water Heating: 1110
 Space Heating: 1110
 Total: 4440

HERS Index Score:
45

HERS Index Score:
45

HERS Index Score:
45

HERS Index Score:
45

HERS Index Score:
45

HERS Index Score:
45

HERS Index Score:
45

HERS Index Score:
45

HERS Index Score:
45

HERS Index Score:
45

HERS Index Score:
45

HERS Index Score:
45

HERS Index Score:
45

HERS Index Score:
45

HERS Index Score:
45

HERS Index Score:
45

HERS Index Score:
45

HERS Index Score:
45

HERS Index Score:
45

HERS Index Score:
45

HERS Index Score:
45

HERS Index Score:
45

HERS Index Score:
45

Building Specification Summary

Property: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Building Specification Summary

Property: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

Project: 204-206 Garden St., Cambridge, MA 02143

PROJECT NAME

204-206 GARDEN ST.

RESIDENCES

PROJECT ADDRESS

204-206 GARDEN STREET

CAMBRIDGE, MA

CLIENT

MAHMOOD FIROUZBAKHT

ARCHITECT

KDI ARCHITECTURE

17 MOSS DEER LANE

SOMERVILLE, MA 02143

TELEPHONE 617-891-4862

CONSULTANTS:

THIS PROJECT IS CONTROLLED BY KDI ARCHITECTURE. NO PART OF THIS PROJECT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM KDI ARCHITECTURE.

Copyright © 2024 KDI ARCHITECTURE. ALL RIGHTS RESERVED. NO PART OF THIS PROJECT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM KDI ARCHITECTURE.

Project Number: 25078

Drawn By: 12/08/2024

Checked By: N/A

REVISIONS

No. Description Date

HERS UNIT 2

A-022

204-206 GARDEN ST. RESIDENCES



ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR



ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR



ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

ENERGY STAR

EXISTING SITE PLAN - OPEN SPACE
 1/8" = 1'-0"

① EXISTING 1ST FLOOR - OPEN SPACE
 1/8" = 1'-0"

② EXISTING 2ND FLOOR - OPEN SPACE
 1/8" = 1'-0"

③ EXISTING 3RD FLOOR - OPEN SPACE
 1/8" = 1'-0"

PROPOSED SITE PLAN - OPEN SPACE
 1/8" = 1'-0"

④ PROPOSED 1ST FLOOR - OPEN SPACE
 1/8" = 1'-0"

⑤ PROPOSED 2ND FLOOR - OPEN SPACE
 1/8" = 1'-0"

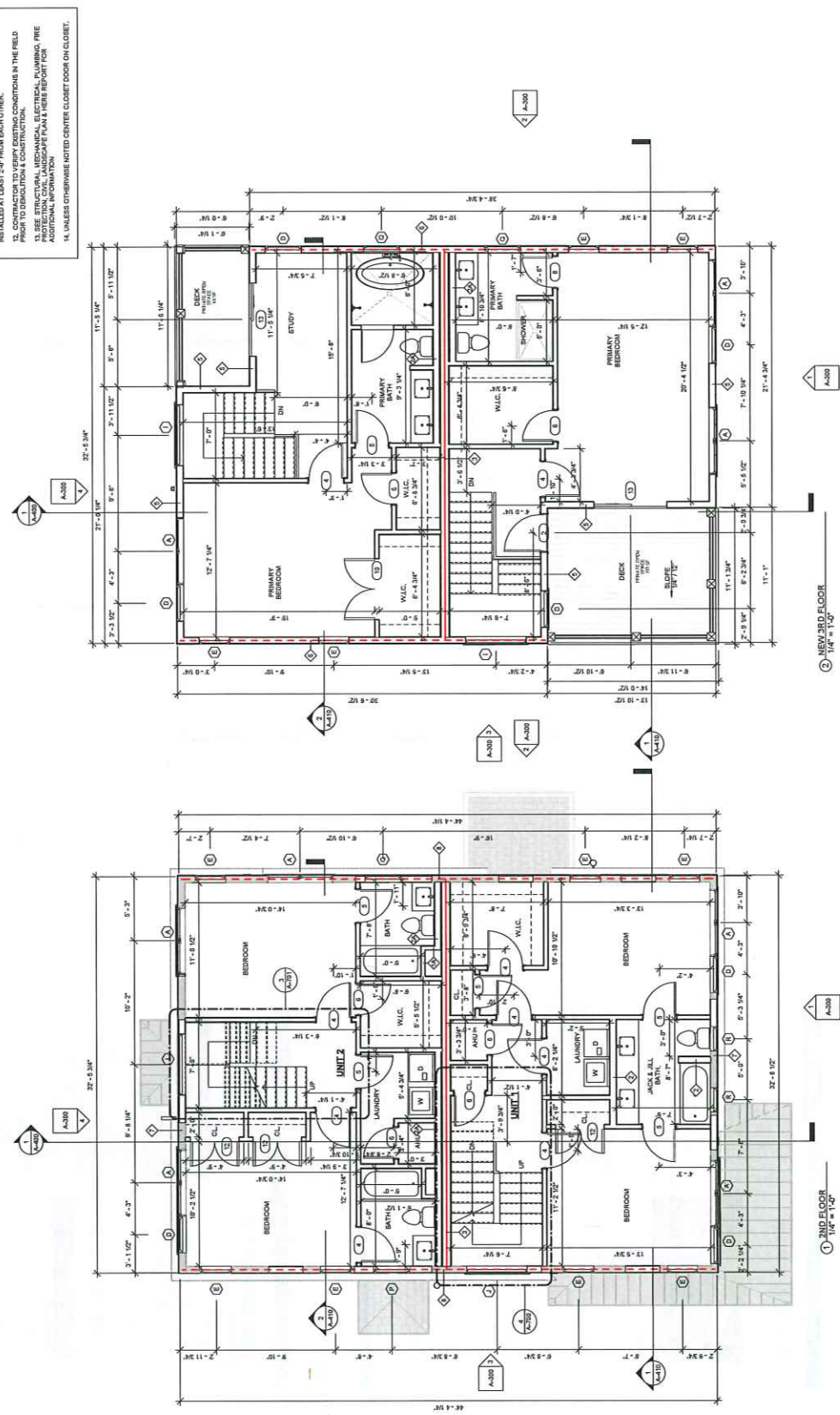
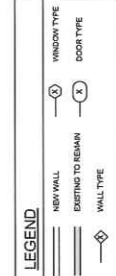
⑥ PROPOSED 3RD FLOOR - OPEN SPACE
 1/8" = 1'-0"

A-100
204-206 GARDEN ST

4 TYPICAL WINDOW WELL DETAIL
1/2" = 1'-0"

① FOUNDATION PLAN
1/8" = 1'-0"

- GENERAL FLOOR PLAN NOTES**
1. ALL SINKS/ALUMINUM TO BE INTERCONNECTED AND HARD WIRED. SEE FLOOR PLANS FOR LOCATIONS.
 2. FINAL INTERIOR FINISHES TO BE DETERMINED BY OWNER.
 3. ALL INTERIOR FINISHES TO BE DETERMINED BY OWNER.
 4. UNLESS OTHERWISE NOTED ALL INTERIOR WALL SHALL BE TYPE "1" TYPE "9".
 5. UNLESS OTHERWISE NOTED ALL EXTERIOR NEW WALLS SHALL BE TYPE "9".
 6. SEE A-101 FOR PARTITION TYPES.
 7. PARTITION TYPES ARE RESISTANT GWS. TO BE USED IN ALL BATHROOMS AND KITCHENS.
 8. SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES & CLADDING MATERIALS.
 9. ALL INTERIOR DIMENSIONS ARE FROM FACE OF OWS TO FACE OWS.
 10. ALL INTERIOR DIMENSIONS ARE FROM EXTERIOR FACE OF STUD, TYPE "1" WALL.
 11. EXTERIOR WALL OUTLETS ON OPPOSITE SIDE OF WALL SHOULD BE INSTALLED AT LEAST 2'-0" FROM EACH OTHER.
 12. CONTRACTOR TO VERIFY EXISTING CONDITIONS IN THE FIELD PRIOR TO DEMOLITION & CONSTRUCTION.
 13. SEE ALL EXISTING RECORDS, INCLUDING PREVIOUS EDITIONS, FOR ADDITIONAL INFORMATION.
 14. UNLESS OTHERWISE NOTED CENTER CLOSET DOOR ON CLOSET.



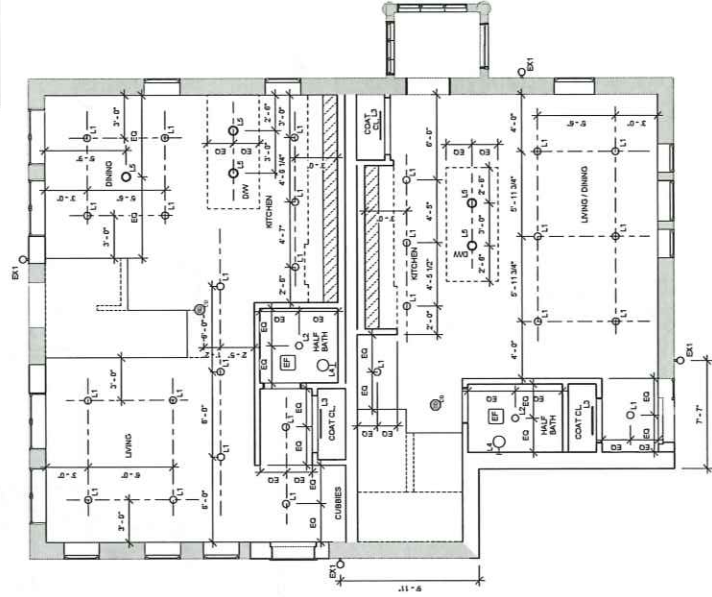
PROJECT NAME 204-206 GARDEN ST. RESIDENCES	PROJECT ADDRESS 204-206 GARDEN STREET CAMBRIDGE, MA	CLIENT MAHMOOD FIROUZBAKH	ARCHITECT KDI ARCHITECTURE 17 FOGG STREET, SUITE 400 SOMERVILLE, MA 02143 TELEPHONE: 617-261-4882	CONSULTANTS:	THIS PROJECT IS AN UNLICENSED ARCHITECTURAL CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE ACCURACY OF THE INFORMATION PROVIDED.		REGISTRATION Project number: 20079 Drawn by: KDI Checked by: KDI REVISIONS: ALL REVISIONS	SECOND & THIRD FLOOR PLAN A-102 204-206 GARDEN ST. RESIDENCES
---	--	-------------------------------------	---	---------------------	---	--	--	--



REFLECTED CEILING PLAN LEGEND	
	INSERT AS SPECIFIED AND OVER CEILING ATTACHED TO JOIST ABOVE TO MAINTAIN FIRE RATING. SEE FLOOR SECTION FOR CEILING ASSEMBLY.
LIGHT FIXTURE LEGEND	
0	L1 IF NEEDED CAN LIGHT FIXTURE
1	L2 IF NEEDED CAN LIGHT FIXTURE - DAMP LOCATION
-	L3 RECV LIGHT FIXTURE
	L4 VANTY LIGHT FIXTURE - AS DETERMINED BY OWNER
	P PENDANT LIGHT FIXTURE - AS DETERMINED BY OWNER
	EXIT EXTERIOR SOURCE LIGHT FIXTURE - AS DETERMINED BY OWNER
	EF EXHAUST FAN
	SMSKRG ALARM
	VNTY VANITY LIGHTING

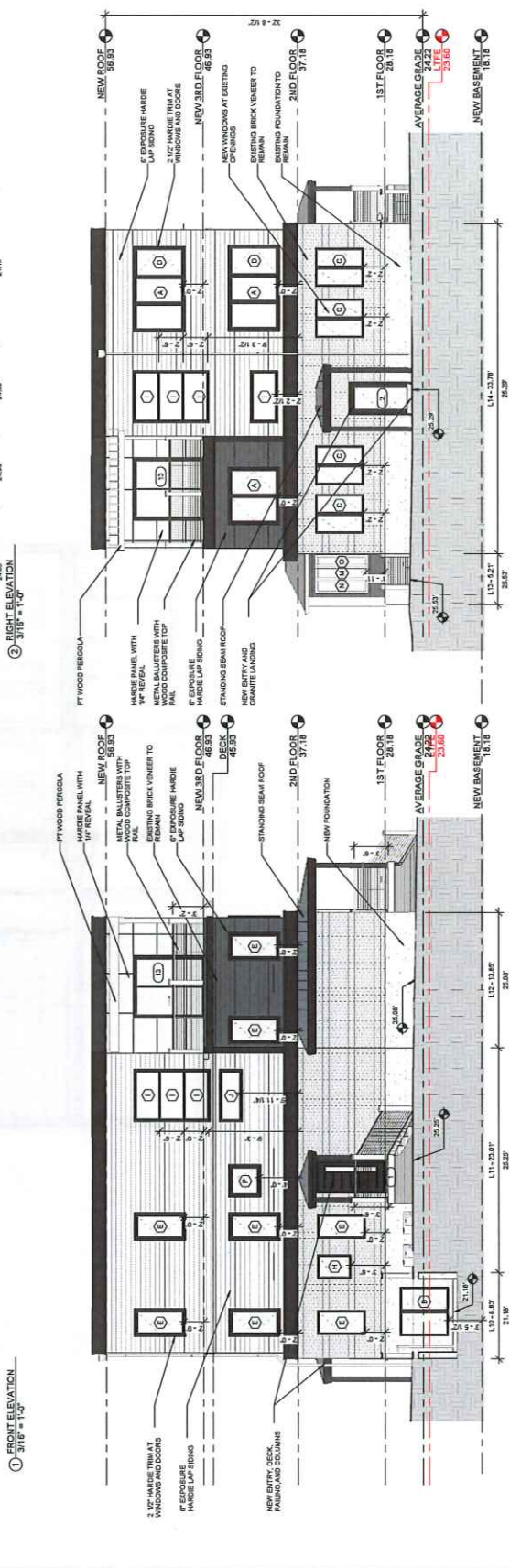
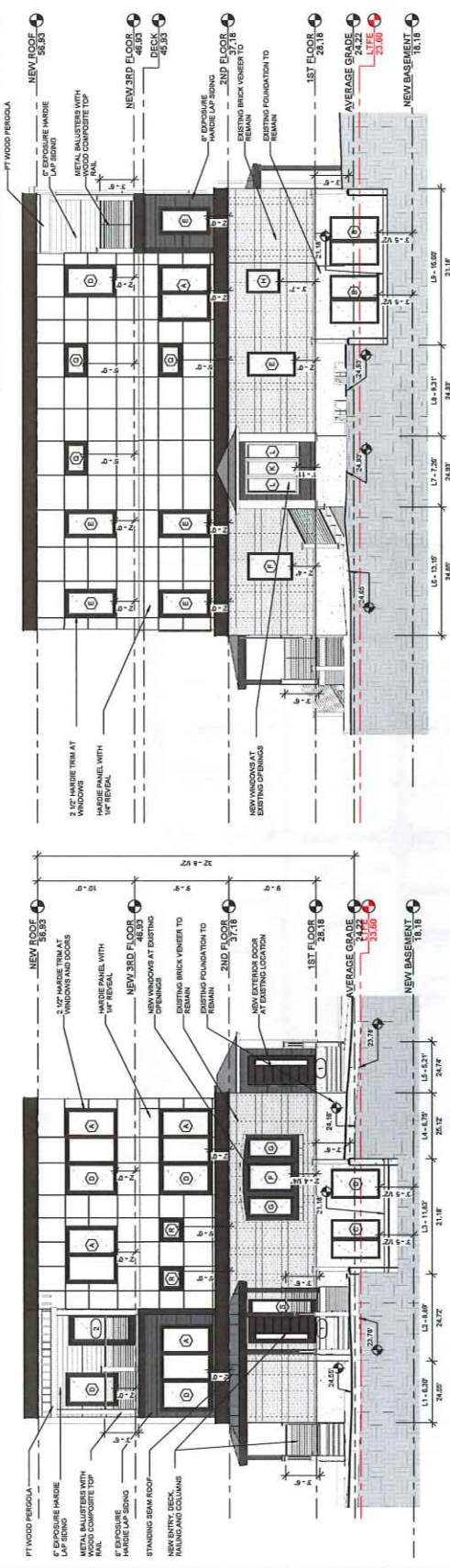
NOTES:

- SMOKE DETECTORS TO BE INTERCONNECTED & HARD WIRED.
- REFER TO ELECTRICAL PLANS FOR LIGHTING.
- VERIFY ALL DIMENSIONS OF ALL DEVICES AND SUSPENDED CEILINGS IN FLOOR CANNOT BE MORE THAN 1' MAXIMUM UNLESS OTHERWISE NOTED ON 12" RESILIENT CHANNELS (R/C).
- ATTACHED TO FLOOR JOISTS.
- CONTRACTOR TO COORDINATE ALL INTERIOR ACCESSORIES WITH OWNER AND TO SUPPLY A SUFFICIENT NUMBER OF EACH TYPE OF ACCESSORY TO RETAIN THE SAME PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL REPORT ERRORS TO THE ARCHITECT IMMEDIATELY PRIOR TO COMMENCING WORK.
- VERIFY AND COORDINATE MECHANICAL AND MAKE FLUSH TO OUTWORK ETC. SPOT ELEVATION ON RCP PRIOR TO CONSTRUCTION OR INSTALLATION.
- CENTER ALL VANTY LIGHTING TO CENTER OF VANTY.
- EXTERIOR LIGHTING TO BE CENTERED BETWEEN WINDOW AND DOOR OR DOOR TO WALL EDGE, UNLESS OTHERWISE DETERMINED.



① NEW BASEMENT
1/4" = 1'-0"

204-206 GARDEN STREET - AVERAGE GRADE		
LOCATION	LENGTH (FT)	ELEVATION (FT)
FRONT	11	24.55
	12	24.55
	13	24.55
	14	24.55
	15	24.55
	16	24.55
	17	24.55
	18	24.55
	19	24.55
	20	24.55
	21	24.55
	22	24.55
	23	24.55
	24	24.55
	25	24.55
	26	24.55
	27	24.55
	28	24.55
	29	24.55
	30	24.55
	31	24.55
	32	24.55
	33	24.55
	34	24.55
	35	24.55
	36	24.55
	37	24.55
	38	24.55
	39	24.55
	40	24.55
	41	24.55
	42	24.55
	43	24.55
	44	24.55
	45	24.55
	46	24.55
	47	24.55
	48	24.55
	49	24.55
	50	24.55
	51	24.55
	52	24.55
	53	24.55
	54	24.55
	55	24.55
	56	24.55
	57	24.55
	58	24.55
	59	24.55
	60	24.55
	61	24.55
	62	24.55
	63	24.55
	64	24.55
	65	24.55
	66	24.55
	67	24.55
	68	24.55
	69	24.55
	70	24.55
	71	24.55
	72	24.55
	73	24.55
	74	24.55
	75	24.55
	76	24.55
	77	24.55
	78	24.55
	79	24.55
	80	24.55
	81	24.55
	82	24.55
	83	24.55
	84	24.55
	85	24.55
	86	24.55
	87	24.55
	88	24.55
	89	24.55
	90	24.55
	91	24.55
	92	24.55
	93	24.55
	94	24.55
	95	24.55
	96	24.55
	97	24.55
	98	24.55
	99	24.55
	100	24.55
TOTAL	100	24.55



PROJECT NAME
**204-206 GARDEN ST.
RESIDENCES**

PROJECT ADDRESS
**204-206 GARDEN
STREET
CAMBRIDGE, MA**

CLIENT
**MAHMOOD
FIROUZBAKH**

ARCHITECT
KDI

ARCHITECTURE
KALISA DESIGN, INC.
17 VALUO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE 617-891-4442

CONSULTANTS:

THIS PROJECT IS CONTROLLED
CONSTRUCTION, S.C. TO CONTACT
ARCHITECT FOR ANY
WORK TO COORDINATE
CONSTRUCTION OBSERVATIONS.

COPYRIGHT © 2023 KDI. NO PART OF
THIS DOCUMENT MAY BE REPRODUCED
OR TRANSMITTED IN ANY FORM OR
BY ANY MEANS, ELECTRONIC OR
MECHANICAL, WITHOUT PERMISSION
IN WRITING FROM KALISA DESIGN, INC.
ALL RIGHTS RESERVED.



REVISIONS

No.	Description	Date
1	Initial	12/03/2023
2	Revised	12/03/2023
3	Revised	12/03/2023
4	Revised	12/03/2023
5	Revised	12/03/2023
6	Revised	12/03/2023
7	Revised	12/03/2023
8	Revised	12/03/2023
9	Revised	12/03/2023
10	Revised	12/03/2023
11	Revised	12/03/2023
12	Revised	12/03/2023
13	Revised	12/03/2023
14	Revised	12/03/2023
15	Revised	12/03/2023
16	Revised	12/03/2023
17	Revised	12/03/2023
18	Revised	12/03/2023
19	Revised	12/03/2023
20	Revised	12/03/2023
21	Revised	12/03/2023
22	Revised	12/03/2023
23	Revised	12/03/2023
24	Revised	12/03/2023
25	Revised	12/03/2023
26	Revised	12/03/2023
27	Revised	12/03/2023
28	Revised	12/03/2023
29	Revised	12/03/2023
30	Revised	12/03/2023
31	Revised	12/03/2023
32	Revised	12/03/2023
33	Revised	12/03/2023
34	Revised	12/03/2023
35	Revised	12/03/2023
36	Revised	12/03/2023
37	Revised	12/03/2023
38	Revised	12/03/2023
39	Revised	12/03/2023
40	Revised	12/03/2023
41	Revised	12/03/2023
42	Revised	12/03/2023
43	Revised	12/03/2023
44	Revised	12/03/2023
45	Revised	12/03/2023
46	Revised	12/03/2023
47	Revised	12/03/2023
48	Revised	12/03/2023
49	Revised	12/03/2023
50	Revised	12/03/2023
51	Revised	12/03/2023
52	Revised	12/03/2023
53	Revised	12/03/2023
54	Revised	12/03/2023
55	Revised	12/03/2023
56	Revised	12/03/2023
57	Revised	12/03/2023
58	Revised	12/03/2023
59	Revised	12/03/2023
60	Revised	12/03/2023
61	Revised	12/03/2023
62	Revised	12/03/2023
63	Revised	12/03/2023
64	Revised	12/03/2023
65	Revised	12/03/2023
66	Revised	12/03/2023
67	Revised	12/03/2023
68	Revised	12/03/2023
69	Revised	12/03/2023
70	Revised	12/03/2023
71	Revised	12/03/2023
72	Revised	12/03/2023
73	Revised	12/03/2023
74	Revised	12/03/2023
75	Revised	12/03/2023
76	Revised	12/03/2023
77	Revised	12/03/2023
78	Revised	12/03/2023
79	Revised	12/03/2023
80	Revised	12/03/2023
81	Revised	12/03/2023
82	Revised	12/03/2023
83	Revised	12/03/2023
84	Revised	12/03/2023
85	Revised	12/03/2023
86	Revised	12/03/2023
87	Revised	12/03/2023
88	Revised	12/03/2023
89	Revised	12/03/2023
90	Revised	12/03/2023
91	Revised	12/03/2023
92	Revised	12/03/2023
93	Revised	12/03/2023
94	Revised	12/03/2023
95	Revised	12/03/2023
96	Revised	12/03/2023
97	Revised	12/03/2023
98	Revised	12/03/2023
99	Revised	12/03/2023
100	Revised	12/03/2023

REGISTRATION

Professional Number: 12032023

Expiry Date: 12/03/2023

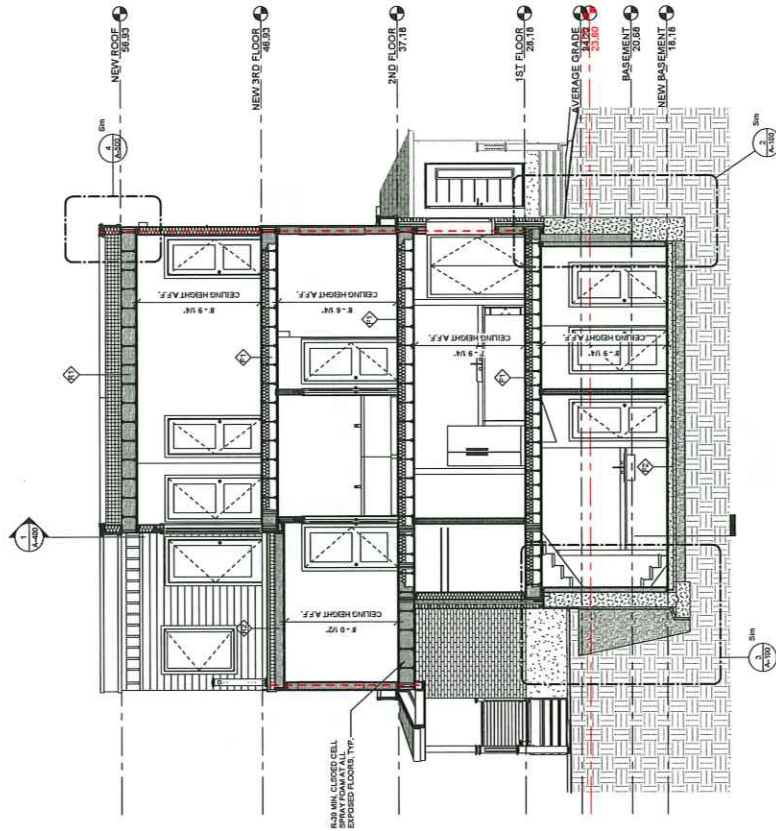
Issued By: 12/03/2023

Revised By: 12/03/2023

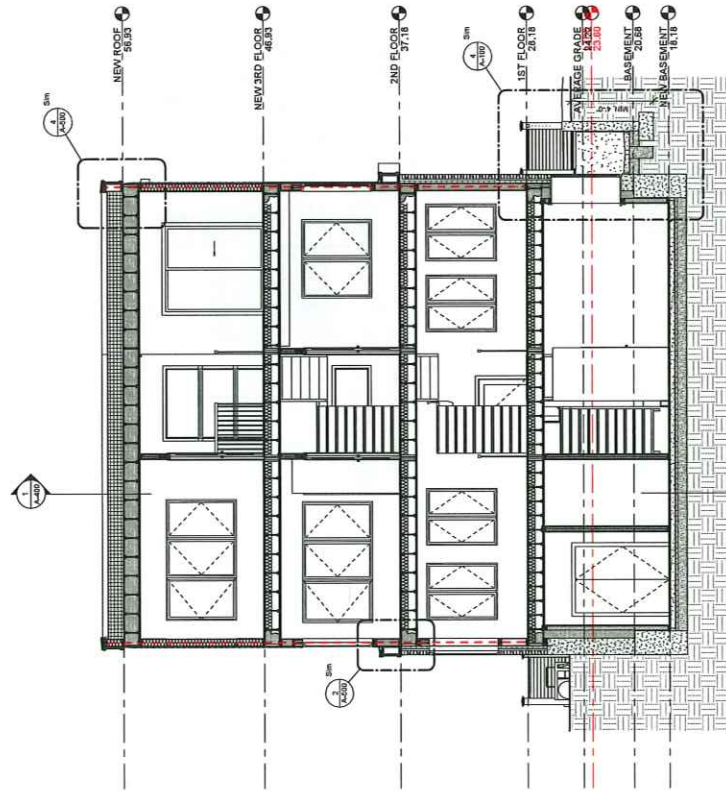
ELEVATIONS

A-300

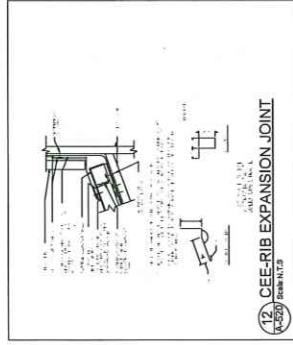
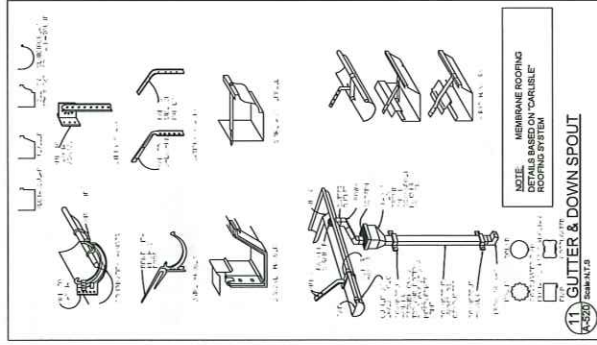
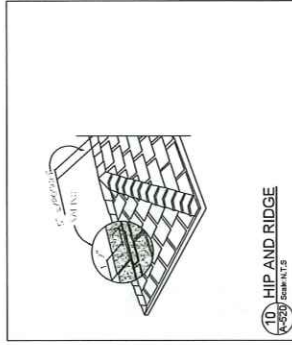
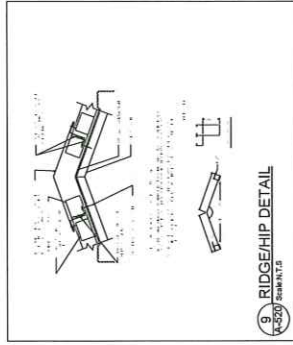
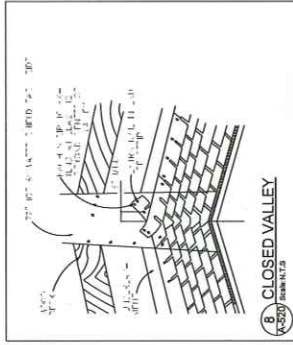
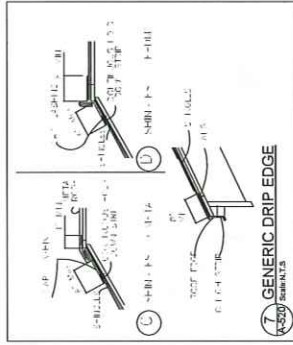
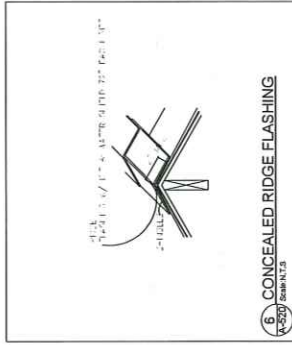
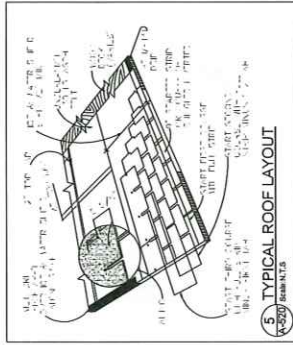
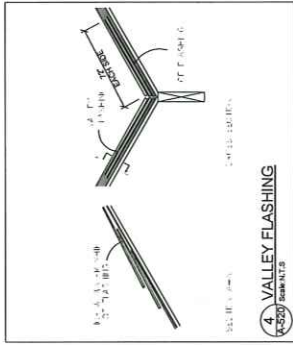
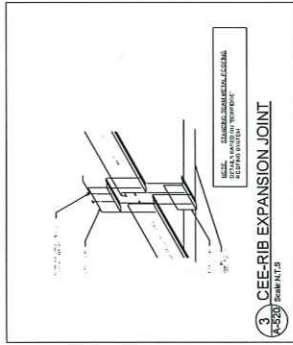
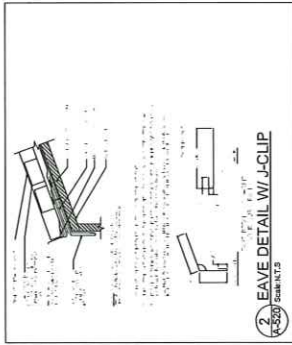
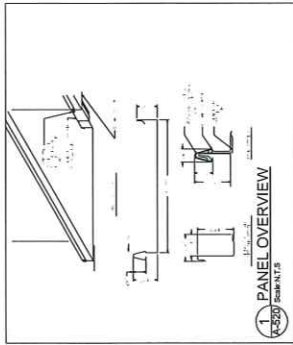
204-206 GARDEN ST.
RESIDENCES



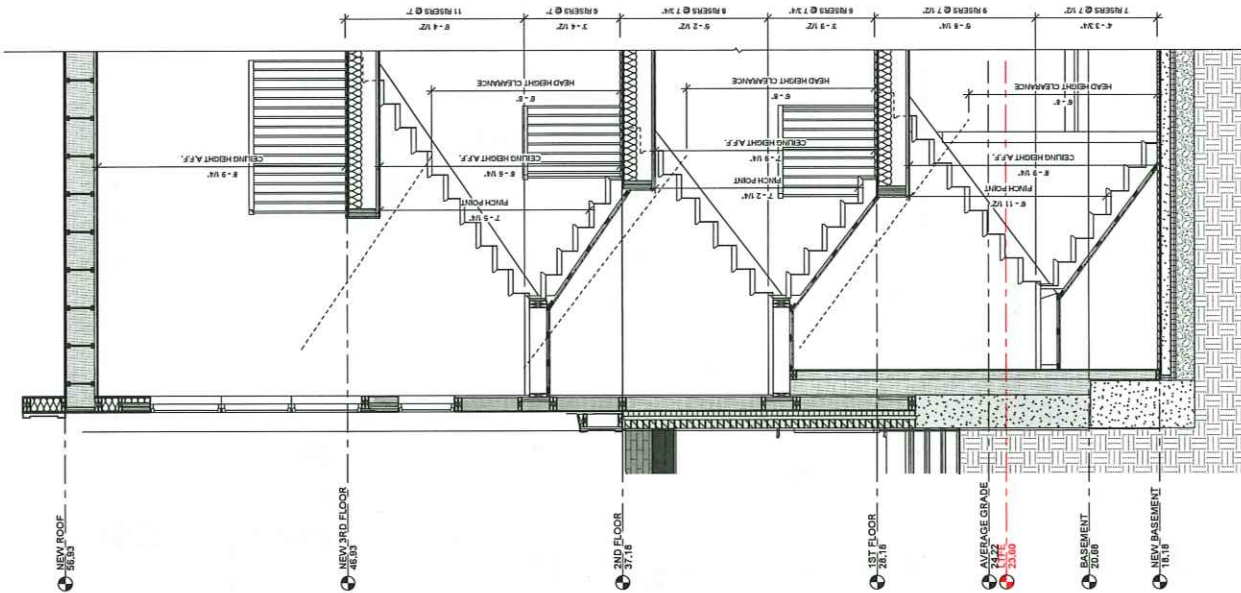
① CROSS SECTION 1
1/4" = 1'-0"



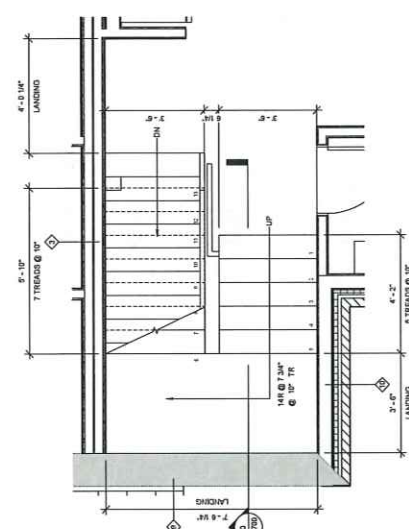
② CROSS SECTION 2
1/4" = 1'-0"

[illegible]

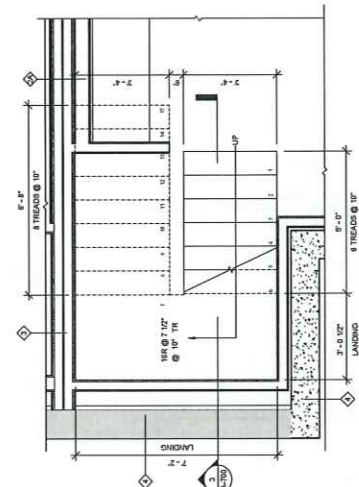
PROJECT NAME	204-206 GARDEN ST. RESIDENCES																																			
PROJECT ADDRESS	204-206 GARDEN STREET CAMBRIDGE, MA																																			
CLIENT	MAHMOOD FROUZBAKHT																																			
ARCHITECT	 KDI ARCHITECTURE DESIGN INC. 17 MALCOLM AVENUE SUITE 400 SOMERVILLE, MA 02143 TELEPHONE: 617-540-4482																																			
CONSULTANTS:																																				
THIS PROJECT IS CONTROLLED BY KDI ARCHITECTURE. ANY REVISIONS TO THE ARCHITECTURE OF THIS PROJECT MUST BE MADE IN WRITING TO THE ARCHITECT. NO WORK IS TO BE COMPLETED WITHOUT THE ARCHITECT'S APPROVAL.																																				
COPYRIGHT © 2002 BY KDI ARCHITECTURE. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM KDI ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION IS PROHIBITED AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.																																				
REGISTRATION																																				
PROJECT NUMBER	204-206	DATE	12/02/2025																																	
DESIGNED BY	MAHMOOD FROUZBAKHT	CHECKED BY	MAHMOOD FROUZBAKHT																																	
DATE	12/02/2025	DATE	12/02/2025																																	
REVISIONS <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>				No.	Description	Date																														
No.	Description	Date																																		
STAIR PLANS AND SECTION - UNIT 1																																				
A-700																																				
204-206 GARDEN ST.																																				



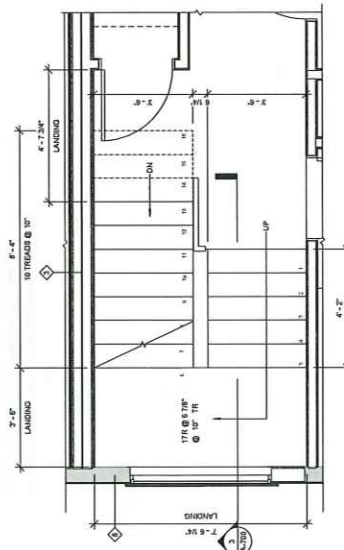
3 UNIT 1 STAIR SECTION
1/2" = 1'-0"



② 1ST FLOOR - UNIT 1 STAIR PLAN
1/2" = 1'-0"



1 NEW BASEMENT - UNIT 1 STAIR PLAN
1/2" = 1'-0"



④ 2ND FLOOR - UNIT 1 STAIR PLAN
1/2" = 1'-0"

PROJECT NAME	204-206 GARDEN ST. RESIDENCES
PROJECT ADDRESS	204-206 GARDEN STREET CAMBRIDGE, MA
CLIENT	MAHMOOD FIROUZBAKHT

ARCHITECT

KDI

ARCHITECTURE

KHALSA DESIGN, INC.
17 WALDO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE 817-914-6082

CONSULTANTS:

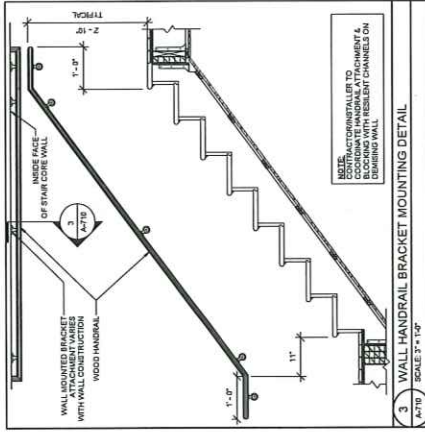
THIS PROJECT IS CONTROLLED
CONSTRUCTION; C.C. TO CONTACT
ARCHITECT AT COMMENCEMENT OF
WORK TO COORDINATE
CONSTRUCTION OBSERVATIONS.

COPYRIGHT KDI © 2025
 THESE DRAWINGS ARE NOW AND DO
 REMAIN THE SOLE PROPERTY OF XALUS
 DESIGN INC. USE OF THESE PLANS OR
 FORM OF REPRODUCTION OF THIS DESIGN
 IN WHOLE OR IN PART WITHOUT EXPRESS
 WRITTEN CONSENT IS PROHIBITED AND
 SHALL RESULT IN THE FULLEST EXTENT
 OF PROSECUTION UNDER LAW

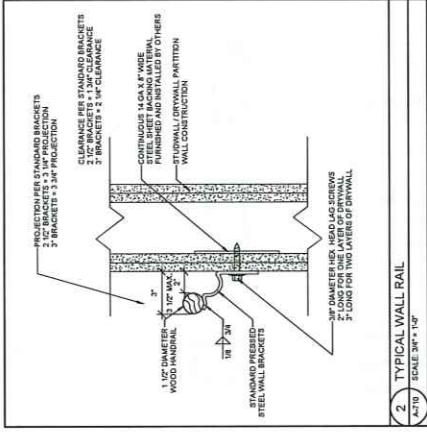
[illegible]

STAIR DETAILS

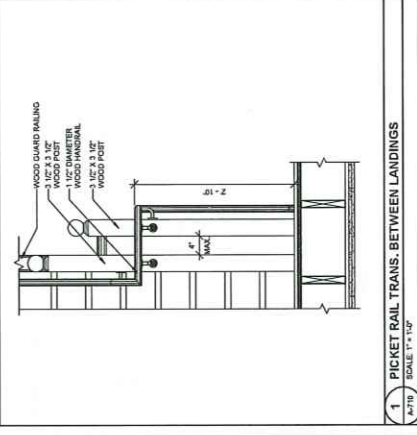
A-710



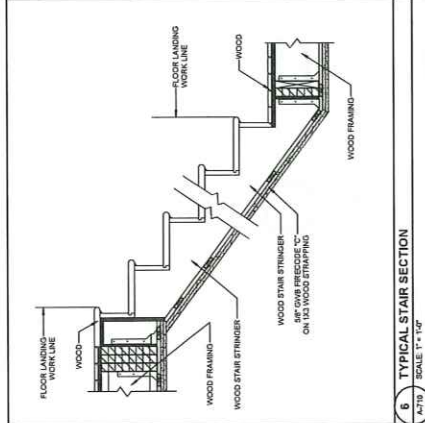
3 WALL HANDRAIL BRACKET MOUNTING DETAILS



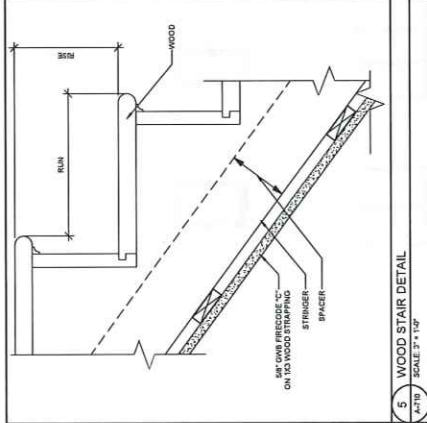
2 TYPICAL WALL RAIL
A-710 SCALE 3/4" = 1'-0"



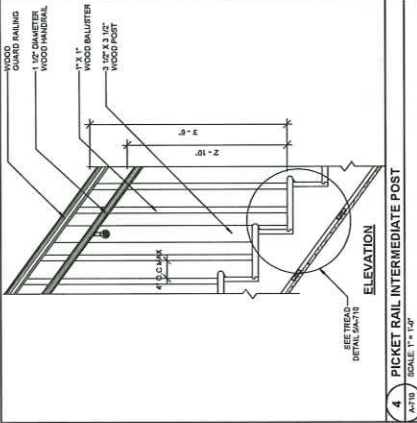
1 PICKET RAIL TRANS. BETWEEN LANDINGS



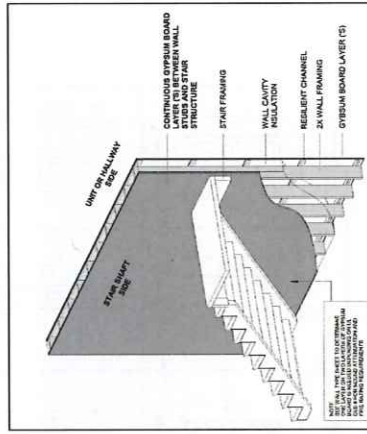
6 TYPICAL STAIR SECTION



5 WOOD STAIR DETAIL



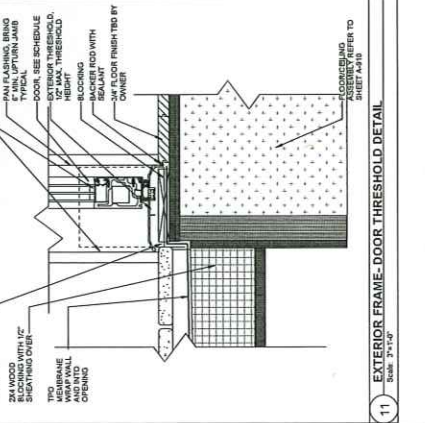
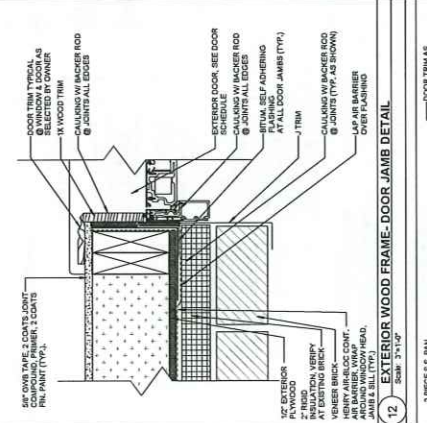
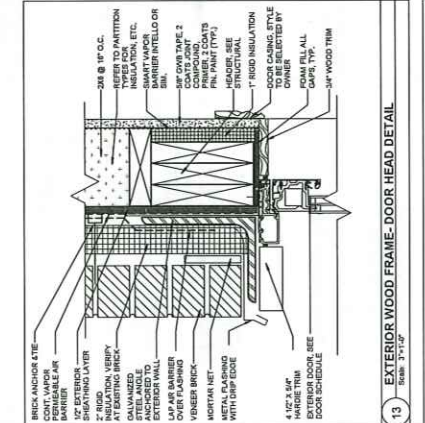
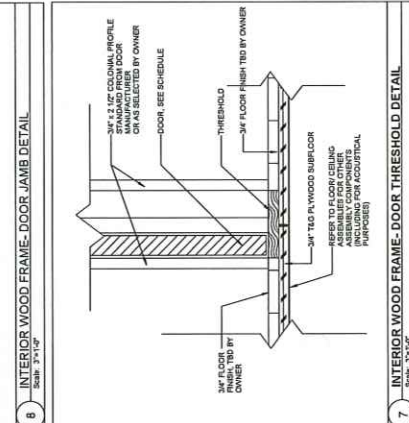
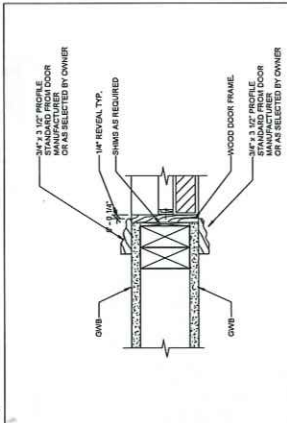
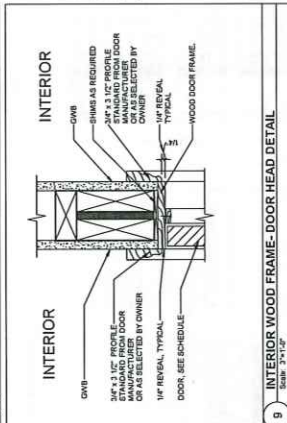
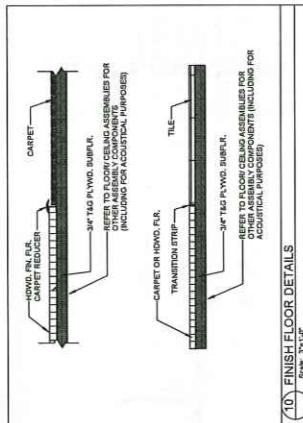
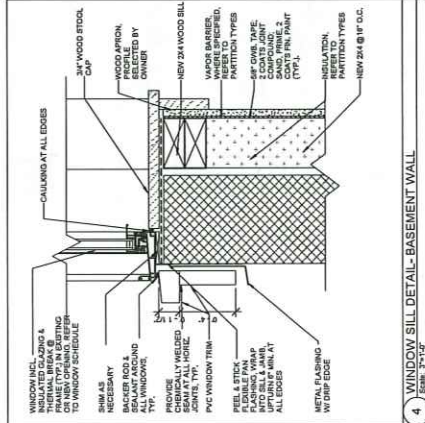
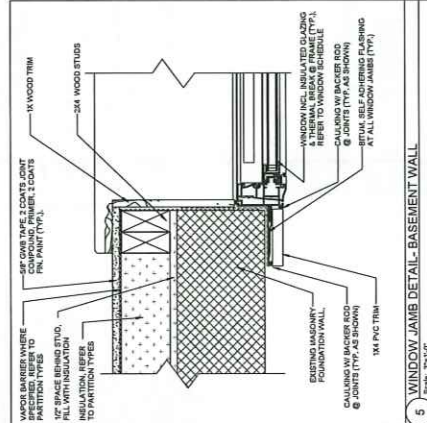
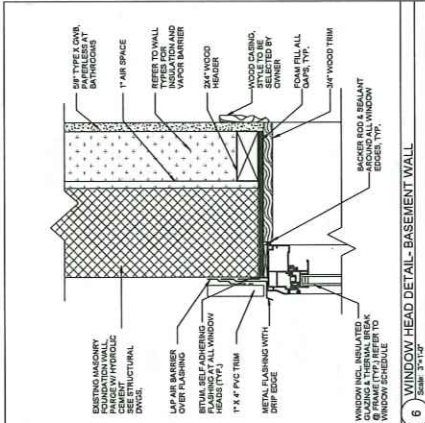
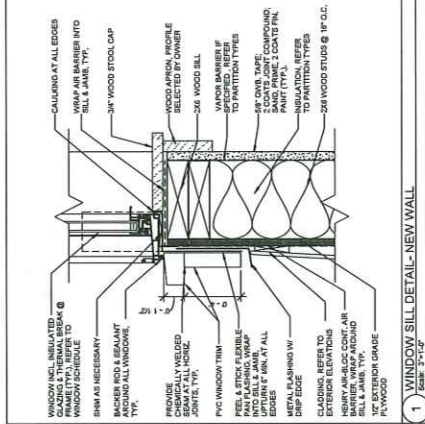
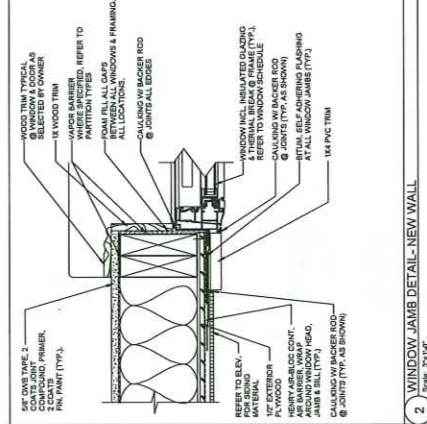
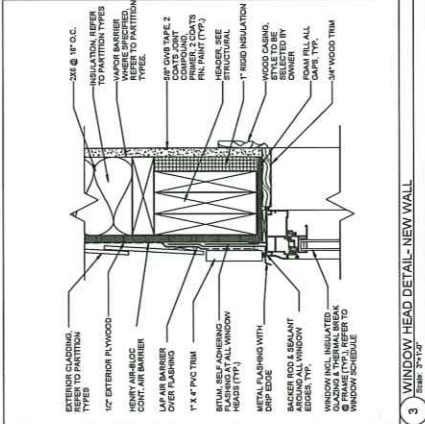
4 PICKET RAIL INTERMEDIATE POST



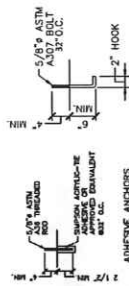
7 STAIR FRAMING 3D DIAGRAM

NOTE: HAT CHANNELS DO NOT SUFFICE FOR STC PURPOSES. USE RC-1 DELUXE CHANNELS, PROFILE SHOWN BELOW.

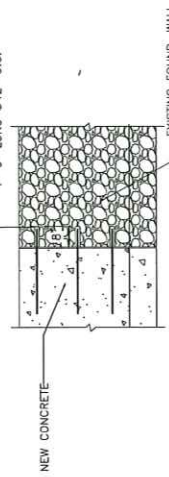
HAT CHANNEL	RC-1 DELUXE CHANNEL
	
NOT PERMITTED (EXCEPT FOR USE WITH GENIE CLIPS)	PERMITTED

[illegible]

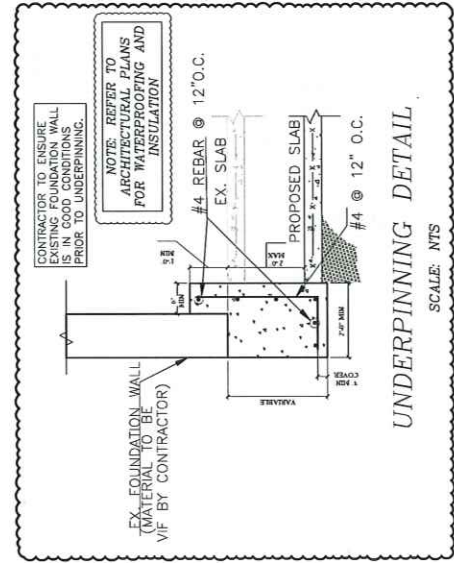
- A. GENERAL: (UNLESS OTHERWISE NOTED)
 1. ALL WORK SHALL CONFORM WITH THE MASS. STATE BUILDING CODE, LOCAL ZONING BY LAWS, AND ALL APPLICABLE OSHA STANDARDS.
 2. ANY WOOD FRAMING MEMBERS IN DIRECT CONTACT WITH CONCRETE SURFACES SHALL BE COATED WITH PRESERVATIVE.
 3. BACKFILL WALLS SHALL BE POSITIONED DURING THE OPERATIONS OF BACKFILLING AND COMPACTION BRACING SHALL BE LEFT IN PLACE UNTIL PERMANENT RESTRAINTS HAVE BEEN INSTALLED.
 - 4.3) CONCRETE WALLS TO BE DAMPROOFED BELOW GRADE, EXTERIOR SIDE. LOCAL BUILDING DEPARTMENTS SHALL INSPECT EXCAVATION PRIOR TO CONSTRUCTION OF FOOTING AND WALLS, AND AT OTHER INTERVALS IN ACCORDANCE WITH LOCAL STANDARD PRACTICES.
 5. CONTRACTOR SHALL PROVIDE EVIDENCES FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE ENGINEER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TOTAL DESIGN.
- B. SUB FLOOR ON GROUND SHALL REST AGAINST 8" COMPACTED SAND ON 1 LAYER OF POLYETHYLENE SHEETING (6 MILS).
- C. FOUNDATION REQUIREMENTS:
 1. ALL FOUNDATIONS SHALL BEAR ON UNDISTURBED INORGANIC GRANULAR SOIL OR COMPACTED STRUCTURAL GRAVEL.
 2. ALL FOUNDATIONS SHALL BEAR UPON A MINIMUM BEARING PRESSURE OF $WIMMU = 2.0 \text{ TONS/SQ FT}$.
 3. IF DRIFTS ARE ENCOUNTERED IN THE EXCAVATION, "WIMMU SHALL BE SUSPENDED" AND THE ENGINEER CONTACTED PRIOR TO COMMENCING WORK.
 - 3.1) CONCRETE SHALL BE PLACED "IN THE DRY" ONLY, AND NO CONCRETE SHALL BE PLACED ON FROZEN GROUND.
 - 3.2) ALL REINFORCING STEEL SHALL BE PROTECTED FROM CORROSION BY COVERING WITH BLACK BITUMASTRAL SEAL, BEHIND BACKFILL MATERIAL SHALL BE COMPACTED IN 12" LAYERS MAXIMUM WITH POWER TAMPER OR BY OTHER APPROVED EQUIPMENT.
 - 3.3) WALLS RETAINING EARTH SHALL BE BACKFILLED EQUALLY EACH SIDE UNLESS Adequately BRACED.
- D. CONCRETE: (UNLESS OTHERWISE NOTED)
 1. CONCRETE WORK SHALL CONFORM TO THE LATEST AMERICAN CONCRETE INSTITUTE BUILDING CODE, STANDARDS, RECOMMENDED PRACTICES AND SPECIFICATIONS AS REVISED TO DATE.
 - 2.1) CONCRETE SHALL BE MIXED IN THE SPECIFIED PROPORTIONS TO GIVE MINIMUM COMPRESSIVE STRENGTH AT THE END OF 28 DAYS OF CURED CONCRETE.
 - 2.2) ALL CONCRETE SHALL BE PLACED IN THE MIDDLE THIRD OF THE SPAN.
 - 2.3) ALL CONCRETE SHALL BE PLACED IN ONE POUR.
 - 2.4) ALL CONCRETE SHALL BE PLACED IN ONE CONTINUOUSLY PLACED OR OTHER APPROVED LOCATION OF MINIMUM HEIGHT.
- E. REINFORCING STEEL: (UNLESS OTHERWISE NOTED)
 1. ALL REINFORCING STEEL SHALL MEET ASTM A-615, GRADE 60.
 - 2.1) WHERE OPENINGS OCCURRING IN WALLS OR SLABS, PROVIDE 2 - #4 EACH FACE EACH SIDE OF OPENINGS AND EXTEND 2' - 6" BEYOND OPENING.
 - 2.2) ALL REINFORCING STEEL SHALL BE PLACED IN THE MIDDLE THIRD OF THE SPAN.
 - 3.1) SLABS ON GRADE SHALL BE REINFORCED WITH 6-#6-W10-W10 WELDED WIRE FABRIC LAP CROSS WIRES ONE SPACE PLUS 2" ALL SIDES.
- F. MISCELLANEOUS: (UNLESS OTHERWISE NOTED)
 - 1.1) VERIFY IN FIELD ALL LOCATIONS AND CONDITIONS IN THE STRUCTURE SHOWN ON THE DRAWINGS AND/OR AFFECTING THE INSTALLATION OF NEW WORK, ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
 - 2.1) THE ENGINEER RESERVES THE RIGHT TO MAKE CHANGES TO THE PROJECT TO PROVIDE ADEQUATE SHORING AND BRACING TO SAFELY SUPPORT THE BUILDING DURING CONSTRUCTION. ANY APPROVAL BY THE ENGINEER WILL NOT RELIEVE THE CONTRACTOR OF FULL RESPONSIBILITY FOR SHORING AND/OR BRACING.
 - 3.1) DURING THE CONSTRUCTION PHASE OF THE PROJECT THE CONTRACTOR SHALL REVIEW DESIGN LOADS TO BE APPLIED TO THE STRUCTURE DURING, INCLUDING BUT NOT LIMITED TO MATERIAL STORAGE AND HANDLING OF CONSTRUCTION EQUIPMENT.



— DRILL & GROUT 1" HOLE
FOR 3/4" REBAR
1'-6" LONG @ 12" O.C.



STN
N7S



SCALE: NTS

204-206 Garden St.
Cambridge, MA

80 JEWETT STREET | SUITE 11 NEWICHAMA
EMAIL: editorial@prunang.com
TEL: 0174160722

[illegible]

NOTES:

CARPENTRY:

ALL ROUGH CARPENTRY SHALL PRODUCE JOINTS TRUE, TIGHT, WITH ALL MEMBERS ASSEMBLED IN ACCORDANCE WITH THE DRAWINGS AND WITH ALL PERTINENT CODES AND REGULATIONS. CAREFULLY SELECT ALL MEMBERS. SELECT INDIVIDUAL PIECES SO THAT KNOTS AND DEFECTS WILL NOT INTERFERE WITH PLACING BOLTS OR PROPER NAILING OR MAKING CONNECTIONS. LUMBER MAY BE REJECTED BY THE ENGINEER, WHETHER OR NOT IT HAS BEEN INSTALLED, FOR EXCESSIVE WARP, TWIST, BOW, CROOK, MILDEW, FUNGUS, OR MOLD, AS WELL AS FOR IMPROPER CUTTING AND FITTING. DO NOT SHIM SILLS, JOISTS, SHORT STUDS, TRIMMERS, HEADERS, LINTELS, OR OTHER FRAMING COMPONENTS. USE ONLY TREATED LUMBER FOR ALL WOOD BUCKS AND NAILING GROUNDS IN, OR IN CONTACT WITH CONCRETE.

TREAT ALL WOOD LESS THAN TWO FEET ABOVE FINISHED GRADE BY SPRAYING WITH THE PRESERVATIVE TO A MINIMUM DISTANCE OF SIX INCHES FROM THE ENDS. PERFORM ALL TREATMENT IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

IN ADDITION TO ALL FRAMING OPERATIONS NORMAL TO FABRICATION AND ERECTION INDICATED ON THE DRAWINGS, INSTALL ALL BACKING REQUIRED FOR WORK OF OTHER TRADES. MAKE ALL BEARINGS FULL. FINISH ALL BEARING SURFACES ON WHICH STRUCTURAL MEMBERS ARE TO REST SO AS TO GIVE SURE AND EVEN SUPPORT, WHERE FRAMING MEMBERS SLOPE, CUT OR NOTCH THE ENDS AS REQUIRED TO GIVE UNIFORM BEARING SURFACES. INSURE BACKING IS FULLY IN CONTACT WITH ALL ITEMS OF FINISH AND TO CUT OFF ALL CONCEALED DRAFT OPENINGS, BOTH VERTICAL AND HORIZONTAL, BETWEEN CEILING AND FLOOR AREAS.

FIRE BLOCKS SHALL BE TWO INCHES IN THICKNESS (NOMINAL) BY THE FULL WIDTH OF THE OPENING BEING BLOCKED.

INSTALL FIRE BLOCK IN THE FOLLOWING SPECIFIC LOCATIONS:

(1) IN ALL STUD WALLS AT CEILING AND FLOOR LEVELS;
(2) IN ALL STUD WALLS, INCLUDING FURRED SPACES, SO THAT THE MAXIMUM DIMENSION OF EACH CONCEALED SPACE IS NEVER MORE THAN EIGHT FEET.

(3) INSTALL WOOD CROSS BRIDGING OF NOT LESS THAN TWO INCHES BY THREE INCHES NOMINAL. METAL CROSS BRIDGING OF EQUAL STRENGTH, OR SOLID BLOCKING BETWEEN JOISTS WHERE THE SPAN EXCEEDS EIGHT FEET. INSTALL SOLID BLOCKING BETWEEN JOISTS AT ALL POINTS OF SUPPORT AND WHEREVER SHEATHING OR FLOORING IS DISCONTINUOUS.

MAKE ALL STUDS SINGLE LENGTH, UNSPLICED, AND PLATFORM FRAMED. FRAME ALL CORNERS AND INTERSECTIONS WITH THREE OR MORE STUDS AND ALL REQUIRED BEARING FOR WALL FINISH.

ON ALL FRAMING MEMBERS TO RECEIVE A FINISHED WALL OR CEILING, ALIGN THE FINISH SUBSURFACE TO VARY NOT MORE THAN 1/8" FROM THE PLANE OF SURFACES OF ADJACENT FRAMING AND FURRING MEMBERS. PLACE ALL PLYWOOD WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND CONTINUOUSLY OVER AT LEAST TWO SUPPORTS.

ALL DOORS AND WINDOWS MUST BE INSTALLED WITH ALL NECESSARY APPURTENANCES AND TRIMS.

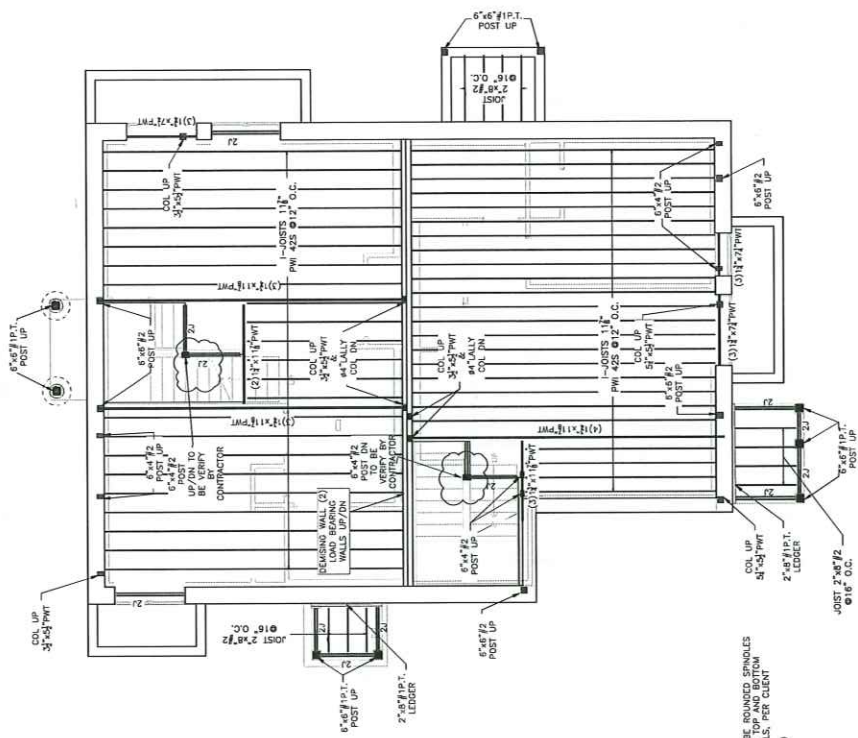
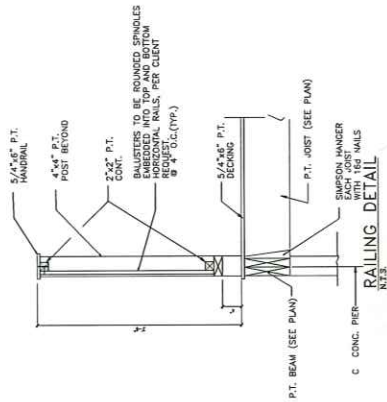
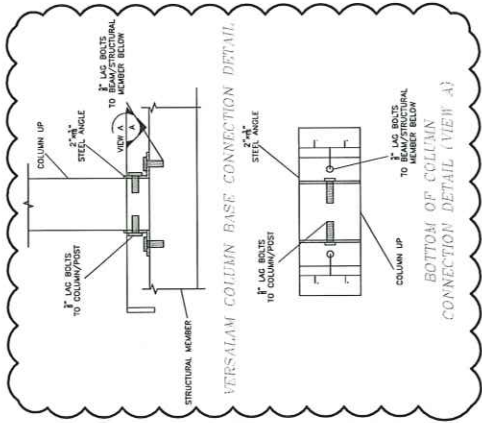
NOTE:

EXTERIOR WALLS & LOAD BEARING / SHEAR WALL FRAMING:

*) 2"x6"#2 STUDS @ 16" O.C. (BLOCKED) MINIMUM



TYP. LOAD BEARING WALL FRAMING



1ST FLOOR FRAMING

THIS PLAN IS PROVIDED FOR PERMIT PURPOSES ONLY

S-003

PROJECT NAME:
204-206 Garden St.
Cambridge, MA



SPRUHAN ENGINEERING P.C.
30 EAST STREET, SUITE 110
BURLINGTON, MA 01803
TEL: 978.689.1100
FAX: 978.689.1101

SCALE: 1/4" = 1'-0"

DATE: 02/11/2022

DRAWN BY: JLM

(PWT) = LVL (2.0E 2900Fb)
(PWT TREATED) = TREATED LAMINATED VENEER LUMBER

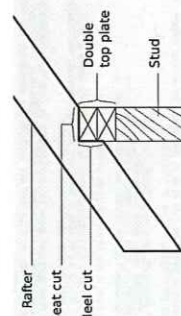
NOTE:
COLUMNS OR BUILD-UP STUDS MUST BE INSTALLED UNDER EACH BEAM AND HEADER. THE FINISH SUBSURFACE OF THE COLUMN OR STUD ON THE PLANS, THESE COLUMNS MUST CARRY THE LOAD DOWN TO THE FOUNDATION OR BEAM BELOW.

NOTES:

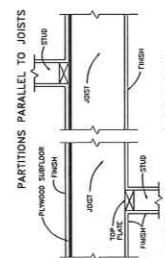
ALL EXPOSED WOOD AND WOOD IN DIRECT CONTACT WITH CONCRETE MUST BE PRESERVATIVE TREATED. THE PROPERTIES OF WOOD MUST BE AS DESIGNED OR BETTER.

SIMPSON CONNECTIONS MUST BE USED AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. CONTRACTOR MUST VERIFY ALL DIMENSIONS & FIELD & APPURTENANCES AND NECESSARY, CONTACT THE ENGINEER.

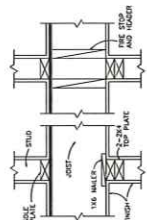
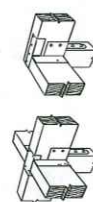
3RD FLOOR FRAMING



RAFTER TO
EXTERIOR WALL



NO PARTITION ABOVE
PARTITIONS PERPENDICULAR TO JOISTS
NONBEARING INTERIOR PARTITIONS
TYPICAL DETAILS

PARTITIONS PERPENDICULAR TO JOISTS
BEARING INTERIOR PARTITIONS
TYPICAL DETAILS

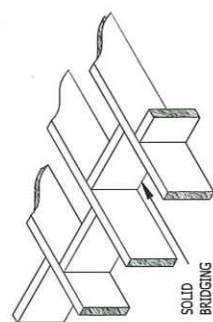
TYPE CC/WD TYPE CC/HW



TYPICAL BEAM/COLUMN CONNECTION DETAILS



TYPE CC	TYPE LCC	TYPE CC/GLT
1	1	1
2	2	2
3	3	3
4	4	4
5	5	5
6	6	6
7	7	7
8	8	8
9	9	9
10	10	10
11	11	11
12	12	12
13	13	13
14	14	14
15	15	15
16	16	16
17	17	17
18	18	18
19	19	19
20	20	20
21	21	21
22	22	22
23	23	23
24	24	24
25	25	25
26	26	26
27	27	27
28	28	28
29	29	29
30	30	30
31	31	31
32	32	32
33	33	33
34	34	34
35	35	35
36	36	36
37	37	37
38	38	38
39	39	39
40	40	40
41	41	41
42	42	42
43	43	43
44	44	44
45	45	45
46	46	46
47	47	47
48	48	48
49	49	49
50	50	50
51	51	51
52	52	52
53	53	53
54	54	54
55	55	55
56	56	56
57	57	57
58	58	58
59	59	59
60	60	60
61	61	61
62	62	62
63	63	63
64	64	64
65	65	65
66	66	66
67	67	67
68	68	68
69	69	69
70	70	70
71	71	71
72	72	72
73	73	73
74	74	74
75	75	75
76	76	76
77	77	77
78	78	78
79	79	79
80	80	80
81	81	81
82	82	82
83	83	83
84	84	84
85	85	85
86	86	86
87	87	87
88	88	88
89	89	89
90	90	90
91	91	91
92	92	92
93	93	93
94	94	94
95	95	95
96	96	96
97	97	97
98	98	98
99	99	99
100	100	100



**SOLID
BRIDGING
AT MIDSPAN**

SOLID BRIDGING DETAIL

THIS PLAN IS PROVIDED FOR PERMIT PURPOSES ONLY

S-005	PROJECT NAME: 704-204 Garden St. Cambridge, MA	  	SPRUIHAN ENGINEERING P. C. 82 BARTLETT STREET, NINTH FLOOR BOSTON, MASSACHUSETTS 02111 TEL.: 617-552-0922
-------	--	---	--



CITY OF CAMBRIDGE

APPLICATION FOR DRIVEWAY CUTS AND OPENINGS ABUTTOR'S FORM

Applicants must submit a copy of the assessor's plat and signatures from all abutting property owners including property owners directly across the street (may be more than one). If the abutting buildings are condominiums then all condominium owners must sign.

To Whom It May Concern:

As owner or agent of

St. Peters Field 99 Sherman St.

Cambridge, Massachusetts, I do hereby declare



approval



disapproval

of installment of Off-Street Parking Facility located at:

204 Garden St

Signed:

[Signature]

Date:

12/15/25

Address:

195 Mass. Ave

Cambridge MA 02139

To Whom It May Concern:

As owner or agent of

Cambridge, Massachusetts, I do hereby declare



approval



disapproval

of installment of Off-Street Parking Facility located at:

Signed:

Date:

Address:



CITY OF CAMBRIDGE

APPLICATION FOR DRIVEWAY CUTS
AND OPENINGS ABUTTOR'S FORM

Applicants must submit a copy of the assessor's plat and signatures from all abutting property owners including property owners directly across the street (may be more than one). If the abutting buildings are condominiums then all condominium owners must sign.

To Whom It May Concern:

As owner or agent of 206 Garden Street

Cambridge, Massachusetts, I do hereby declare

☒

approval

☐

disapproval

of installment of Off-Street Parking Facility located at:

204-206 Garden Street

Signed: X M. R. A. Date: 12/8/25

Address: 7 Crescent Street

Cambridge, MA 02138

To Whom It May Concern:

As owner or agent of 214 Garden Street

Cambridge, Massachusetts, I do hereby declare

☒

approval

☐

disapproval

of installment of Off-Street Parking Facility located at:

204-206 Garden Street

Signed: M. R. A. Date: 12/8/25

Address: 7 Crescent Street

Cambridge, MA 02138



204-206 GARDEN ST
CAMBRIDGE
MASSACHUSETTS

PROPOSED
PLOT PLAN

REVISION BLOCK

[illegible]

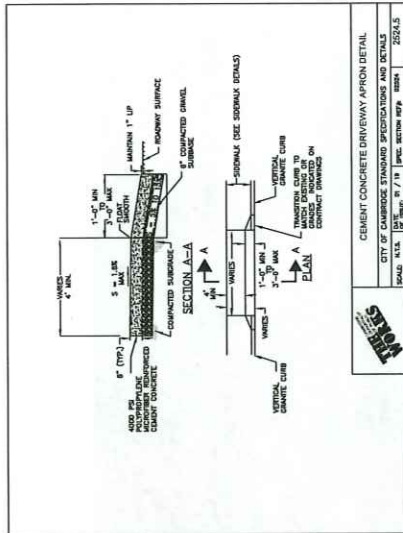
All legal rights including, but not limited to, copyright and design patent rights, in the designs, arrangements and plans shown on these documents and the property shown on these drawings shall not be used or relied in whole or in part, except in connection with this project, without the prior written consent of Spruhlen Engineering, P.C. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions shown on this project. Spruhlen Engineering, P.C. shall not be notified of any variation from the dimensions and conditions shown by these drawings.



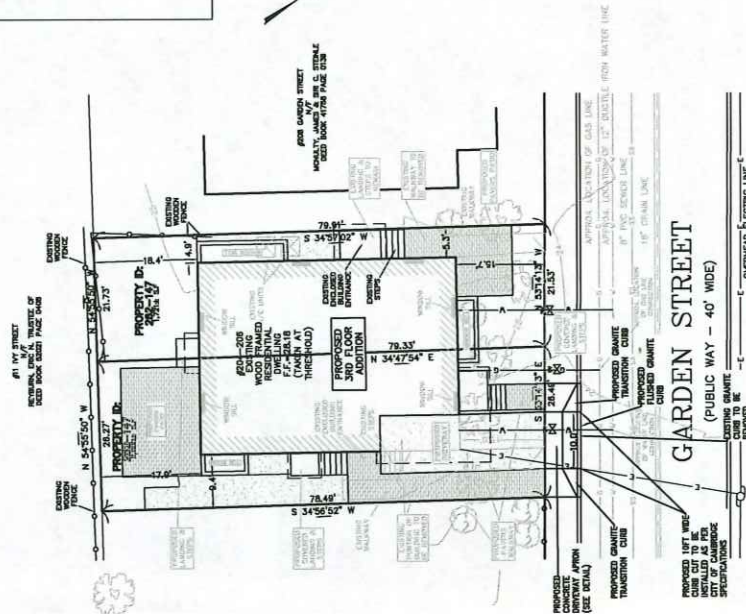
DATE:	11/19/25
DRAWN BY:	A.C.
CHECKED BY:	G.P.
APPROVED BY:	E.S.

PROPOSED
CURB CUT PLAN

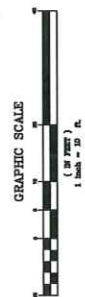
SHEET 1 OF 1

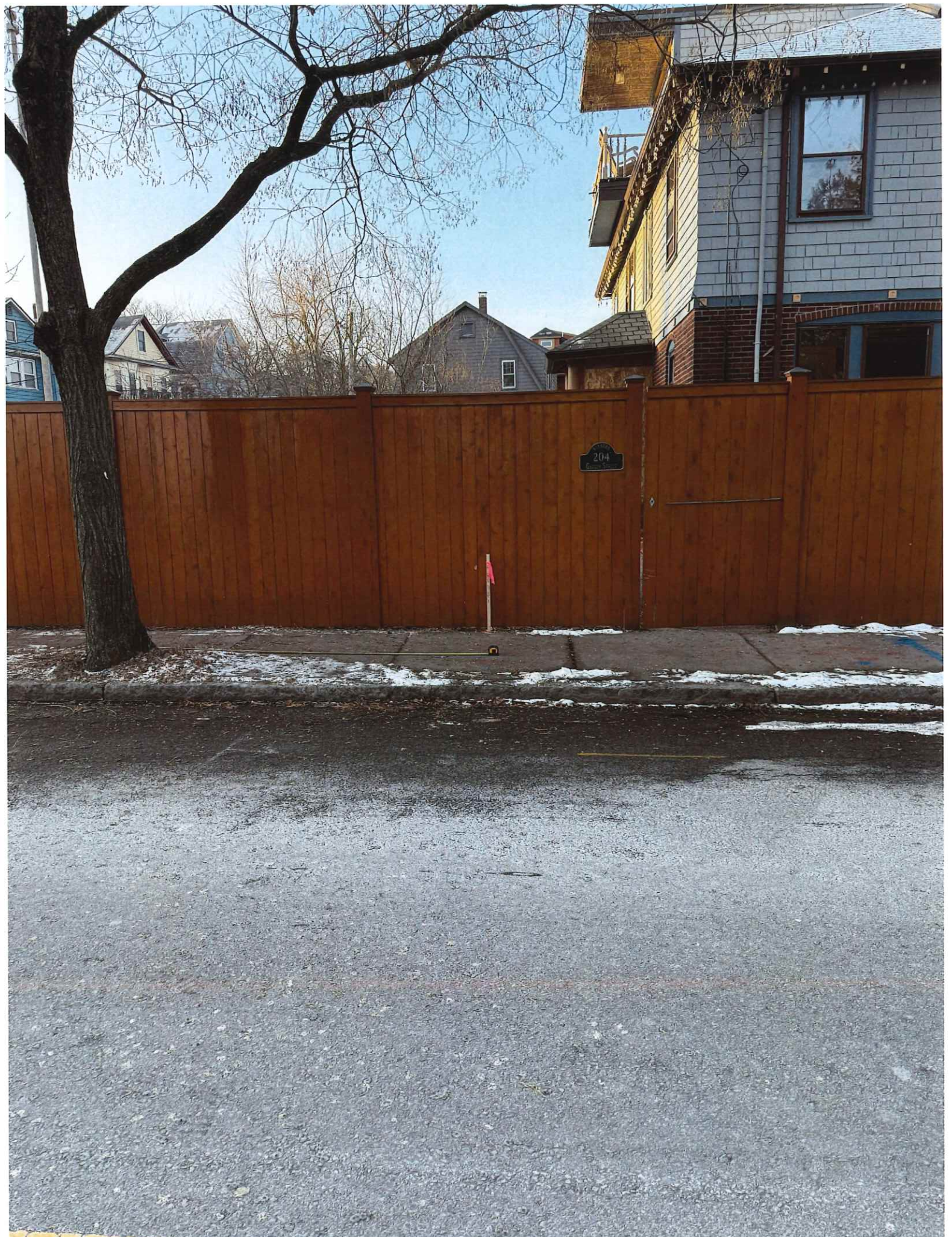


LEGEND	
	BOUND
	IRON PIPE/PIPE
	TRICE
	SHULB
	PINE TREE
	TRICE STUMP
	SIGN
	SEWER MANHOLE
	DIAM MANHOLE
	CATCH BASIN
	WATER VALVE
	HYDRANT
	GAS VALVE
	ELECTRIC MANHOLE
	UTILITY POLE
	LIGHT POLE
	MANHOLE
	EXISTING BUILDING
	RETAINING WALL
	FENCE
	SEWER LINE
	WATER LINE
	GAS LINE
	ELECTRIC LINE
	CONTOUR LINE (MAD)



- NOTES:
1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY S. BRUSHMAN ENGINEERING, P.C. AS OF 10/6/2024.
 2. DEED REFERENCE: BOC, BOOK 28244, PAGE 574
 3. DEED REFERENCE: BOC, BOOK 28244, PAGE 574
 4. DEED REFERENCE: PLAN BOC 28244, PAGE 304, PLAN #41
 5. DEED REFERENCE: PLAN BOC 28244, PAGE 304, PLAN #41
 6. UNDEVELOPED COUNTY SOUTH DISTRICT REGISTRY OF DEEDS
 7. THIS PLAN IS NOT INTENDED TO BE RECORDED.
 8. 1. A CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARDOUS ZONE. IT IS LOCATED IN ZONE X ON A FLOOD HAZARD BOUNDARY MAP NUMBER 260710418P, DATED 10/1/2018.
 9. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWITNESSED EASEMENTS WHICH MAY EXIST ON THE PROPERTY. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBTAIN ANY APPARENT EASEMENTS ON THE PROPERTY; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
 10. 1. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
 11. 2. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS S. BRUSHMAN ENGINEERING, P.C. ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE.
 12. 3. THE CLIENT OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSE.
 13. 4. THE LOCATION OF ALL UNDEVELOPED UTILITIES SHOWN HEREON ARE APPROXIMATE AND NOT TO BE CONSIDERED AS EXISTING UTILITIES. ANY UTILITIES ARE TO BE LOCATED BY THE ENGINEER, WATER VALVES, ETC. AND CANNOT FROM PLANS SUPPLIED BY GOVERNMENT AGENCIES.
 14. 5. THE ELEVATIONS SHOWN ARE BASED ON CITY OF CAMBRIDGE DATUM TAKEN FROM CITY OF CAMBRIDGE.







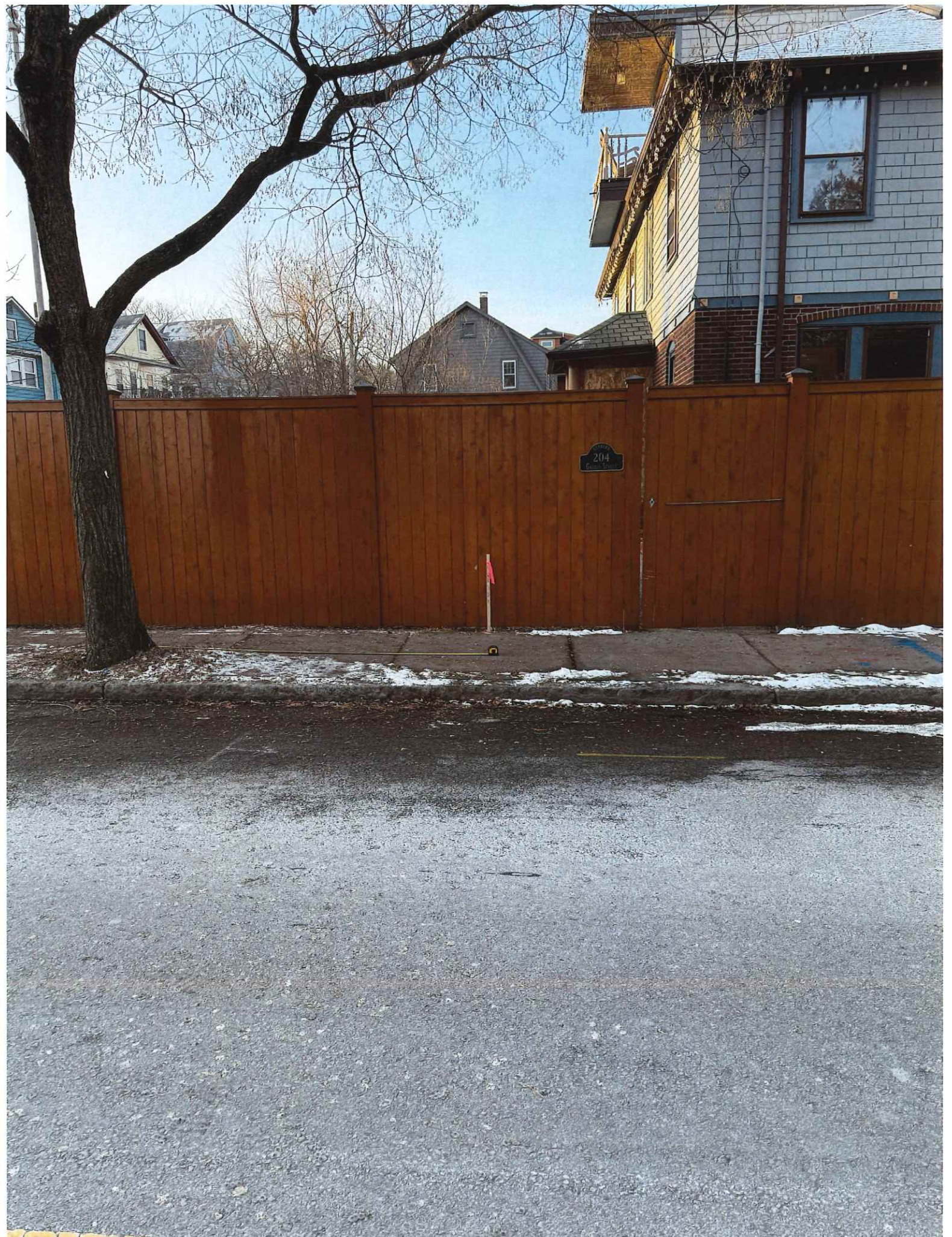


204
206

RE/MAX
David J. Lilley
Owner: 617-290-5468
DAVID LILLEY
617-290-3868









OFFICE OF THE CITY CLERK

CITY OF CAMBRIDGE

(617) 349-4260

FAX (617) 349-4269

**PAULA M. CRANE I
INTERIM CITY CLERK**

December 29, 2025

Dear Neighborhood Representative:

This office is in receipt of a copy of an application from:

Mahmood Firouzbakht for a Curb Cut at the location of 204 Garden Street with a Frontage of 25.49', Setback 15', Distance from surrounding structures 5', Length 28', Width 10' and a total Square Footage of 280.

The City Council has directed that all curb cut petitions be submitted to the appropriate Neighborhood Associations for the locality where the curb cut would be made, so that the association may have an opportunity for review, prior to action by the City Council.

Please indicate by return mail your approval or disapproval of the petition within twenty-one days from the date of this letter. If the response is "disapproval" please state reasons. Be sure to sign the form and include a daytime phone number. I have enclosed a self-addressed stamped envelope to facilitate your reply.

As soon as this office has received both the completed application and your neighborhood association response, I will place the petition on the agenda for the next City Council meeting. If I do not receive a response from your neighborhood organization by twenty-one days from the date of this letter, I will place the petition on the agenda for the next City Council meeting.

If your neighborhood association cannot complete its review by twenty-one days from today, you may extend the reply time another seven days by requesting an extension by letter to me with a copy to the petitioner. However, I urge you to make every effort to complete your review as soon as possible.

Thank you for your cooperation.

Sincerely yours,

Paula M. Crane
Interim City Clerk

All Neighborhood Associations

hereby _____ approve _____ disapprove of said driveway petition.

Comments: _____

Signature of authorized association representative

Daytime telephone no.

cc: Petitioner

CITY HALL, 795 MASSACHUSETTS AVENUE CAMBRIDGE, MASSACHUSETTS 02139